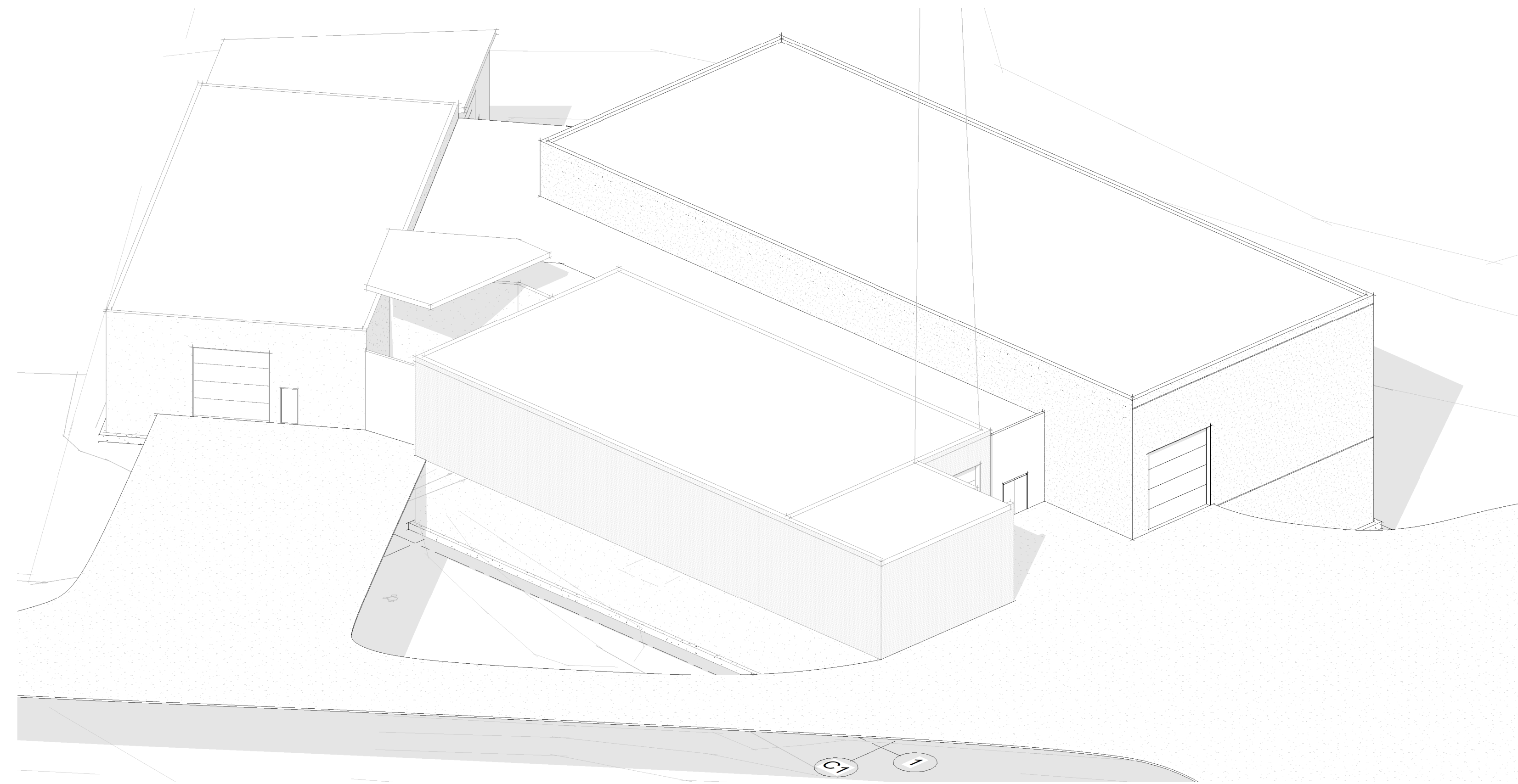


RCWD - PLATTE TREATMENT PLANT - BUILDING 3



ID8 ARCHITECTURE, LLC
418 MAIN AVE. SUITE #1
BROOKINGS, SD 57006
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GENERAL PROJECT COORDINATION COMMUNICATION NOTES:

- PLEASE NOTE: THE ARCHITECT AND GENERAL CONTRACTOR ARE EACH INDEPENDENTLY CONTRACTED BY THE OWNER AND HAVE A DUTY TO THE OWNER FIRST AND FOREMOST. FOR THE BENEFIT OF THE PROJECT AND ALL PARTIES INVOLVED, COMMUNICATIONS ABOUT CONCERNS, CHANGES, ETC. SHALL INCLUDE ALL PARTIES. A FAILURE TO INCLUDE THE ARCHITECT IN COMMUNICATIONS ABOUT THE PROJECT SHALL ABSOLVE THE ARCHITECT OF LIABILITY FOR FUTURE IMPACTS OF THOSE COMMUNICATIONS ON THE PROJECT AND ITS OUTCOMES.
- AN INITIAL PROJECT KICK-OFF MEETING SHALL BE REQUIRED WITH ALL PARTIES.
- CONSTRUCTION PROGRESS MEETINGS WITH OWNER(S), ARCHITECT, AND GENERAL CONTRACTOR SHALL OCCUR AT REGULARLY SCHEDULED INTERVALS FOR UPDATES ON PROGRESS AND CLARITY OF COMMUNICATIONS.
- ARCHITECT/DESIGNER'S SCOPE DOES NOT INCLUDE CONSTRUCTION PROJECT MANAGEMENT, SITE VERIFICATION OF DIMENSIONS FOR FINAL CASEWORK INSTALLATION, TEMPLATING FOR ANY/ALL COUNTERTOPS, OR SITE LOCATING PLUMBING OR ELECTRICAL ROUGH-INS. THESE SITE RELATED COORDINATION ITEMS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - SHOP DRAWING REVIEW OF CASEWORK WILL BE REQUIRED BY BOTH THE ARCHITECT (FOR INTENT AND ACCESSORIES) AND THE GENERAL CONTRACTOR (FOR SIZES AND VERIFICATION OF FINAL SITE CONDITIONS).
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS AND TRADES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ITEMIZED BUDGET AND/OR SCHEDULE OF VALUES. THE ARCHITECT IS NOT RESPONSIBLE FOR FINAL COST OF MATERIALS OR LABOR RATES. ITEMIZED BID MUST BE FURNISHED FOR REVIEW AND VALUE ENGINEERING (AS NEEDED) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ADDITIONALLY, THE ARCHITECT CANNOT BE HELD RESPONSIBLE FOR CHANGES IN COMMODITY PRICES (SUCH AS WOOD OR STEEL) IMPACTING FINAL CONSTRUCTION COSTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE CONSTRUCTION SCHEDULE. THE ARCHITECT IS NOT LIABLE FOR SCHEDULING CHANGES OR MODIFICATIONS IF A CONSTRUCTION SCHEDULE IS NOT FURNISHED FOR REVIEW OR ADHERED TO BY GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DOCUMENTS AND COMMUNICATE ANY CONCERNS, QUESTIONS, OR NEED FOR CLARIFICATIONS BACK TO THE ARCHITECT IN WRITING, AS PROMPTLY AS POSSIBLE TO ENSURE ADEQUATE TIME FOR THE PROVISION OF CLARIFICATIONS AND/OR MODIFICATIONS.
- PROPRIETARY PRODUCTS CALLED OUT IN THE DRAWINGS SHALL BE CONSIDERED BASIS OF DESIGN SELECTIONS FOR AESTHETIC AND PERFORMANCE REQUIREMENT. IF THE GENERAL CONTRACTOR HAS A BRAND PREFERENCE OR SUGGESTED CHANGE, IT SHALL BE SUBMITTED AS A SUBSTITUTION REQUEST FOR APPROVAL BY THE OWNER/ARCHITECT PRIOR TO ORDER/INSTALL.
- THE PURCHASE AND DELIVERY OF MATERIALS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND IS TO BE COORDINATED DIRECTLY WITH THE OWNER(S).
- THE GENERAL CONTRACTOR MUST FURNISH DOCUMENTATION TO ACCOUNT FOR CHANGE ORDERS, INCLUDING, BUT NOT LIMITED TO, THE IMPACT TO BOTH COST AND SCHEDULE. THAT DOCUMENTATION MUST BE SIGNED/APPROVED BY THE OWNERS IN ORDER TO PROCEED. THE ARCHITECT SHALL BE NOTIFIED OF THESE CHANGES IN WRITING (BY E-MAIL).
- THE ARCHITECT/DESIGNER IS NOT LIABLE FOR CHANGES OR MODIFICATIONS MADE TO THE PLANS WITHOUT THE ARCHITECT'S KNOWLEDGE. GENERAL CONTRACTOR IS RESPONSIBLE TO COMMUNICATE AND SUBSTANTIVE MODIFICATIONS THAT MAY AFFECT OTHER TRADES OR SUBSEQUENT WORK. FAILURE TO DO SO ABSOLVES ARCHITECT OF ANY REQUIREMENTS TO ASSIST IN COORDINATION OR RE-DESIGN OF IMPACTED WORK.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.

ABBREVIATIONS:

ABV ABOVE	ACT ACUSTICAL CEILING TILE	ADJ ADJUSTABLE	AFF ABOVE FINISH FLOOR	AJH AUTHORITY HAVING JURISDICTION	AHU AIR HANDLING UNIT	ALT ALTERNATE	ALUM ALUMINUM	AUTO AUTOMATIC	AVG AVERAGE	B BOARD	BD BLDG	BLK BLOCK	BLKS BLOCKING	BLT-IN BUILT-IN	B.M. BENCHMARK	BM BEAM	B.O.D. BASIS OF DESIGN	BOT BOTTOM	BRG BEARING	BSMT BASEMENT	CAB CABINET	CP CAST-IN-PLACE	CJ CONTROL JOINT	CL CENTERLINE	CLNG CEILING	CMU CONCRETE MASONRY UNIT	COL COLUMN	COMP COMPOSITION	CONC CONCRETE	CONT CONTINUOUS	COR CORNER	CJ CONDENSING UNIT	CYL CYLINDER	CW COLD WATER	DBL DOUBLE	DBTL DETAIL	DIA DIAMETER	DM DIMENSION	DN DOWN	DR DOOR	DS DOWNSPOUT	DWG DRAWING	E EXPANSION JOING	ELEV ELEVATION	ENTR ENTRANCE	EP ELECTRICAL PANELBOARD	EQ EQUAL	EWI ELECTRIC WATER HEATER	EXH EXHAUST	EXG EXISTING	EXT EXTERIOR	FB FACE BRICK	FDR FLOOR DRAIN	FDN FOUNDATION	FF FINISH FLOOR ELEVATION	FHC FIRE HOSE CABINET	FIN FINISH	FF FINISHED FLOOR	F.O.M. FACE OF MASONRY	F.O.S. FACE OF STUD	FR FRAME	FS FULL SIZE	FT FOOT/FEET	FTG FOOTING	FUR FURRED/FURRING	FEC FIRE EXTINGUISHER CABINET	GA GAUGE	GAL GALLON	GALV GALVANIZED	GC GENERAL CONTRACTOR	GL GLASS/LAZING	GND GROUND	GR GRADE	GT GROUT	GWB GYPSUM WALL BOARD	HC HOLLOW CORE	HD HEAD	HDCP HANDICAPPED	HDW HEADER	HDW HARDWARE	HM HOLLOW METAL	HP HIGH-PRESSURE	HR HOUR	HT HEATING	HVAC HEATING, VENTILATION, + AIR CONDITIONING	HW HOT WATER	ID INSIDE DIAMETER	INFO INFORMATION	INT INTERIOR	IRREG IRREGULAR	JAN JANITOR	JCT JUNCTION	JST JOIST	JT JOINT	K KICKPLATE	L LAMINATE	LAV LAVATORY	LES LEANS	LN LINEAR	LVR LOUVER	M METER	MACH MACHINE	MAINT MAINTENANCE	MAS MASONRY	MATL MATERIAL(S)	MAX MAXIMUM	MECH MECHANICAL	MED MEDIUM	MEP MECHANICAL ELECTRICAL PLUMBING	MFR MANUFACTURER	MFG MANUFACTURING	MIN MINIMUM	MISC MISCELLANEOUS	M.O. MASONRY OPENING	MR MOISTURE RESISTANT	MTD MOUNTED	MTL METAL	MTG MEETING	MULL MULLION	N NO. OF # NUMBER	NOM NOMINAL	NRC NOISE REDUCTION COEFFICIENT	NTS NOT TO SCALE	O to O ON CENTER	O.C. OUTSIDE DIAMETER	OPNG OPENING	OPP OPPOSITE	OVHD OVERHEAD	P PLUMBING	POL POLISHED	PR PAIR	PRECAST PRECAST	PREFA PREFABRICATED	B PRELIMINARY	PRELIM PREFORMED	PRF PROJECTION	PROJ POINT	PT PAINTED	PTD PARTITION	PTN POLYVINYL CHLORIDE	PVT PRIVATE	QTR RND QUARTER ROUND	QTY QUANTITY	R RADIIUM	RAD ROOF DRAIN	RD REFERENCE	REBAR REINFORCING BAR	RECP RECEPTACLE	REF REFRIGERATOR	REINF REINFORCEMENT(ED)	REV REQUIRED	RND ROUND	RO ROOF	ROU ROUGH OPENING	R.O.W. RIGHT-OF-WAY	S SOLID CORE	SCHED SCHEDULE	SCRN SCREEN	SECT SECTION	SF SQUARE FOOT	SHT SHEET	SHD SHOWER	SM SIMILAR	SPEC SPECIFICATION	SPRKLER SPRINKLER	SPR BLK SPRINKLER BLOCK	SQ SQUARE	SS STAINLESS STEEL	STAGD STAGGERED	STD SOUND TRANSMISSION COEFFICIENT	STL STANDARD	STEEL	STOR STORAGE	STRUCT STRUCTURAL	SUBFLOR SUBFLOOR	SUSP SUSPENDED	TAN TANGENT	T&G TONGUE AND GROOVE	TC TOP OF CURB	TEMP TEMPERATURE/TEMPERED	THK THICK	T.S. TOP OF STEEL	T.O.S. TOP OF SLAB	TYP TYPICAL	UNEX UNEXCAVATED	UNFN UNFINISHED	U.N.O. UNLESS NOTED OTHERWISE	V VENER	W W-SHAPE STEEL BEAM	W/ WITH	W/I WITHIN	W/O WITHOUT	WD WOOD	WDW WINDOW
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VICINITY MAP - LOCATION

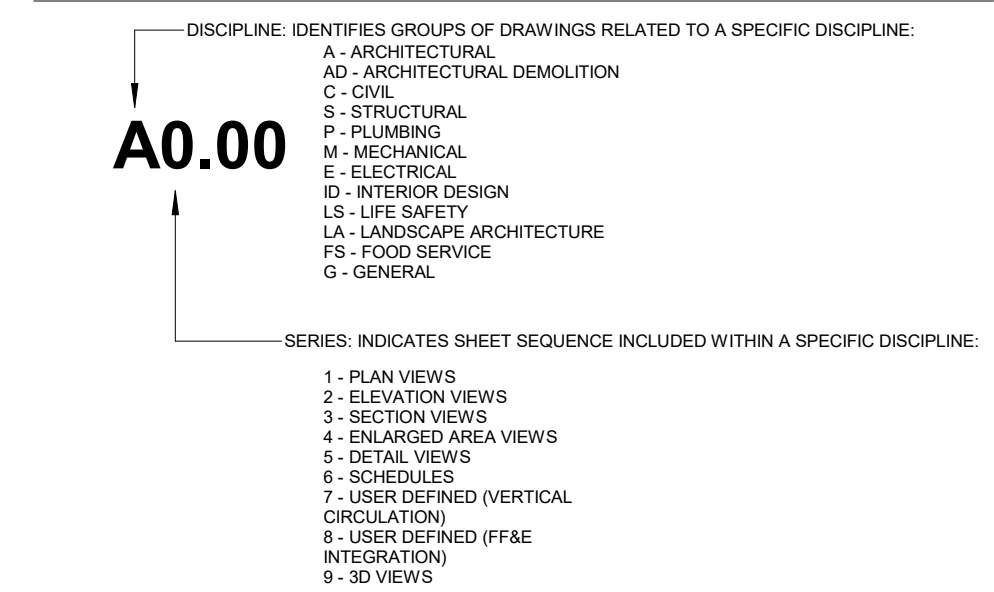


VICINITY - 362nd AVE

SYMBOL LEGEND:

○	CALLOUT HEAD	?	WINDOW TAG
⊕	CENTERLINE	44	WALL TAG
⊗	DOOR TAG	1	STRUCTURAL GRID
◇	INTERIOR ELEVATION MARKER	12	SHEET KEYNOTE
◻	EXTERIOR ELEVATION MARKER	▭	EXISTING BUILDING
○	SECTION MARKER - BUILDING	▨	DEMOLITION (DOORS, WALLS, WINDOWS, ETC.)
○	SECTION MARKER - WALL	■	NEW CONSTRUCTION
●	SPOT ELEVATION	---	OVERHEAD CONDITIONS (HEADERS, SOFFITS, ETC.)
		---	HIDDEN LINES (INCLUDING FLOOR LEVEL CHANGES)

SHEET NUMBERING SYSTEM:



A5.02	ARCHITECTURAL DETAILS	08/22/24
00_GENERAL		
G0.00	TITLE SHEET	08/25/2024
G0.02	CODE REVIEW	08/25/2024
G0.03	ACCESSIBLE MOUNTING HEIGHTS	08/25/2024
01_DEMOLITION		
AD1.10	DEMO PLAN LEVEL 1	08/25/2024
02_ARCHITECTURAL		
A1.01	ARCHITECTURAL SITE PLAN	08/25/2024
A1.04	FOUNDATION PLAN	08/25/2024
A1.05	LEVEL 0 PLAN	08/25/2024
A1.06	L0 REFLECTED CEILING PLAN	08/25/2024
A1.10	LEVEL 1 PLAN	08/25/2024
A1.11	LEVEL 1 REFLECTED CEILING PLAN	08/25/2024
A1.30	ROOF PLAN	08/25/2024
A2.01	EXTERIOR ELEVATIONS	08/25/2024
A2.50	INTERIOR ELEVATIONS	08/25/2024
A3.01	LONGITUDINAL BUILDING SECTIONS	08/25/2024
A3.02	TRANSVERSE BUILDING SECTIONS	08/25/2024
A3.50B	WALL TYPES	08/25/2024
A3.51	WALL SECTIONS	08/25/2024
A4.01	ENLARGED PLANS/ELEVATIONS	08/25/2024
A5.01	ARCHITECTURAL DETAILS	08/25/2024
A5.50	INTERIOR DETAILS	08/25/2024
A5.51	CASEWORK STANDARDS (AWI)	08/25/2024
A6.01	DOOR & WINDOW SCHEDULES & LEGENDS	08/25/2024
A6.20B	DOOR & WINDOW DETAILS	08/25/2024
A8.00	FINISH & MATERIAL SCHEDULE	08/25/2024
A8.01	LEVEL 0 FINISH PLAN	08/25/2024
A8.02	LEVEL 0 FURNITURE & POWER PLAN PLAN	08/25/2024
A8.10	LEVEL 1 FINISH PLAN	08/25/2024
A8.11	LEVEL 1 FURNITURE & POWER PLAN PLAN	08/25/2024
A9.01	3D VIEWS	08/25/2024

RCWD - PLATTE TREATMENT PLANT BUILDING 3

28240 362nd AVE. PLATTE, SD 57369

ARCHITECT	ARB
DRAWN BY	ARB
JOB NUMBER	2413
TITLE SHEET	
SCALE:	As indicated
G0.00	

CODE REVIEW

CODE REVIEW - ZONING & PARKING REGULATIONS

COUNTY ZONING:
 SETBACKS FRONT
 SIDE
 REAR
 HEIGHT
 MAXIMUM LOT COVERAGE:
 PARKING REQUIRED:
 SIZE: 9W X18L EACH
 PROPOSED SPACES:
 LEGAL DESCRIPTION:

CODE REVIEW - IBC FOR NEW CONSTRUCTION - 2021 EDITION

A.) USE & OCCUPANCY CLASSIFICATIONS

OCCUPANCY TYPE: _____

B.) TYPE OF CONSTRUCTION

TYPE: _____ NON-SPRINKLERED

C.) ALLOWABLE HEIGHTS AND AREAS

(SEE SECTION 905)
 TABLE 503 ALLOWABLE HEIGHT = 57' ACTUAL HEIGHT = 27'-8"
 TABLE 503 ALLOWABLE STORIES = 2 ACTUAL HEIGHT = 2
 TABLE 503 ALLOWABLE AREA/STORY: 9,000
 8,338 SF = 2,310 SF + 10,648 SF area (WITHOUT frontage area increase)

D.) EXTERIOR WALL & OPENING PROTECTION

(SEE SECTION 802 & 705.6)
 TOTAL BUILDING IS SEPARATED BY MORE THE 30' FROM ADJACENT PROPERTIES- NO ADDITIONAL FIRE RATING REQUIRED FOR EXTERIOR WALLS AND OPENINGS.

E.) FIRE RESISTIVE REQUIREMENTS BY TYPES OF CONSTRUCTION (TABLE 601)

CONDITION	REQUIREMENT	NOTES
1. STRUCTURAL FRAME	1 HOUR(S)	
2. BEARING WALLS - EXTERIOR	1 HOUR(S)	
3. BEARING WALLS - INTERIOR	1 HOUR(S)	
4. NON-BEARING WALLS - EXT.	(SEE TABLE 602)	SEE SECTION C ABOVE
5. NON-BEARING WALLS - INT.	1 HOUR(S)	
6. FLOOR CONSTRUCTION	1 HOUR(S)	
7. ROOF CONSTRUCTION	1 HOUR(S)	

F.) OCCUPANT LOAD

OCCUPANCY TYPE	SPACE DESCRIPTION	FLOOR AREA PER OCC.	ACTUAL AREA	OCC. LOAD	REQ'D EXITS	ACTUAL EXITS
B		100 GROSS				
		15 NET				
	TOTALS					

G.) EXITING REQUIREMENTS

OCCUPANCY TYPE	AREA	OCCUPANT LOAD	REQ'D EXIT WIDTH	ACTUAL EXIT WIDTH	REQ'D STAIR WIDTH	ACTUAL STAIR WIDTH
BUSINESS		107				
	TOTAL	107	57"	36" + 36" + 36" = 144"	44"	44"

NOTE: PER IBC SECTION 1005.1, USE A 0.3 MULTIPLIER FOR STAIRWAY WIDTH; 0.2 FOR ALL OTHER EGRESS COMPONENTS
 -HOWEVER:
 *DOOR WIDTH SHALL NOT BE LESS THAN 32" CLEAR (OR 36" STANDARD DOOR OPENING)
 **STAIR WIDTH SHALL NOT BE LESS THAN 44"

STAIR:
 1011.2 FOR OCCUPANT LOADS OF <50, EXIT STAIR WIDTH SHALL BE 36" MINIMUM
 1011.3 HEAD ROOM TO BE 80" MINIMUM
 1011.5.2 RISERS TO BE MAX OF 7" MIN OF 4"; TREADS TO BE MIN OF 11"
 1011.5.5 NOSING WITH A CURVED OR BEVELED EDGE MUST LIE WITHIN THE RANGE OF 1/16"-9-16"
 1011.5.5.1 NOSING TO PROJECT 1-1/4" MAX.

EXIT ACCESS TRAVEL DISTANCE
 1016.2 IN B OCCUPANCY WITHOUT SPRINKLER, EXIT ACCESS TRAVEL DISTANCE SHALL BE NO MORE THAN 200'

H.) PLUMBING SYSTEMS

OCCUPANCY TYPE	# OCC.	WATER CLOSETS		LAVATORIES		DRINKING FTN.		SERVICE SINK	NOTES
		REQ'D	ACTUAL	REQ'D	ACTUAL	REQ'D	ACTUAL	UTILITY/MOP SINK	

* DESIGNATES ACCESSORY USE AREAS/OCCUPANCIES

CITY OF BROOKINGS USES UNIFORM PLUMBING CODE. THIS CODE PROVIDE THAT OCCUPANCIES NOT SHOWN IN TABLE 4-1 SHALL BE CONSIDERED SEPARATELY BY THE AUTHORITY HAVING JURISDICTION. SAID AUTHORITY PERMITS THE USE OF IBC TABLE 2802.1

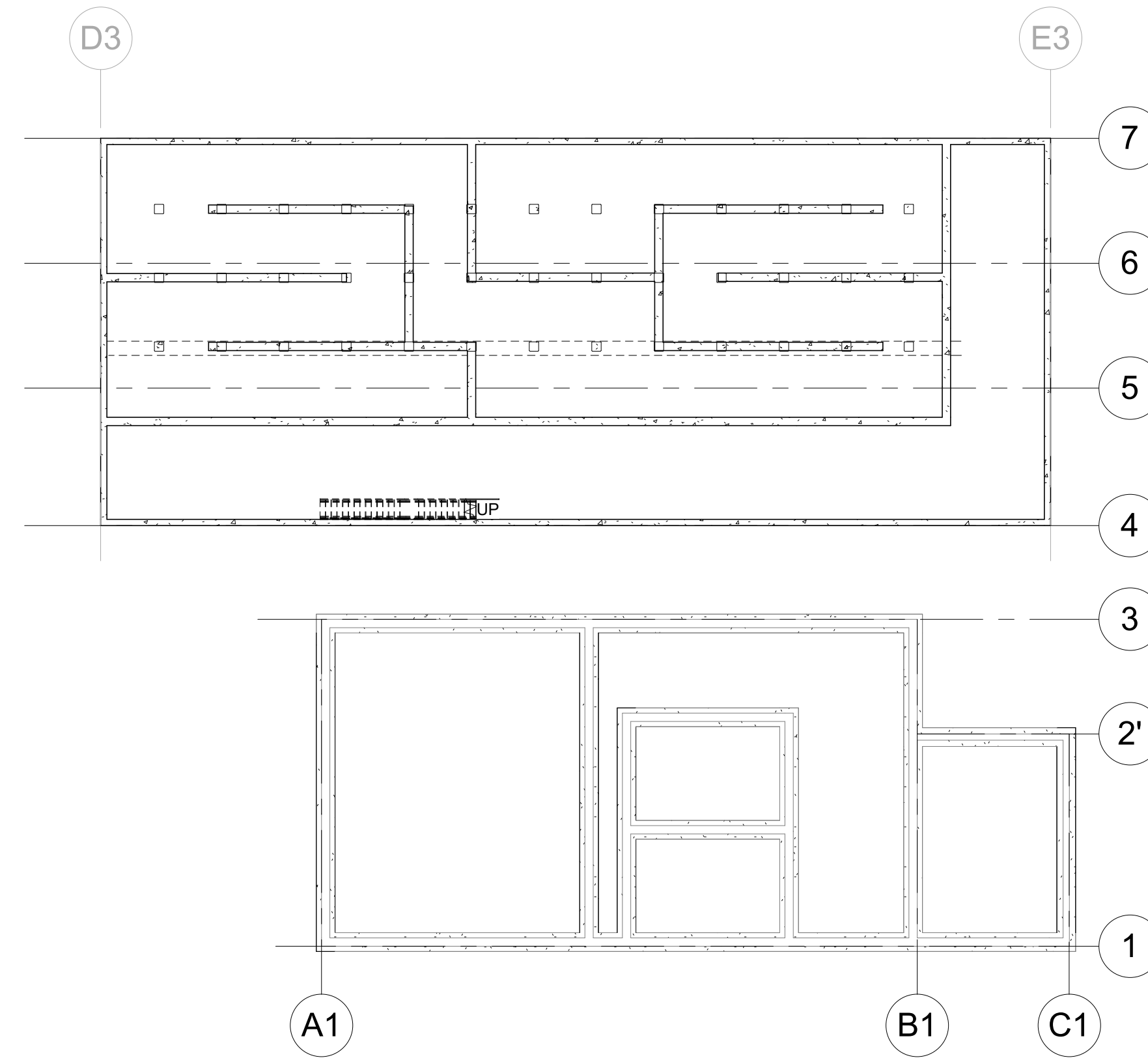
I.) TOILET & BATHROOM REQUIREMENTS

1210.2.1 FLOORS AND WALL BASES, IN OTHER THAN DWELLING UNITS, TOILET, BATHING AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NOT LESS THAN 4 INCHES (102 MM).

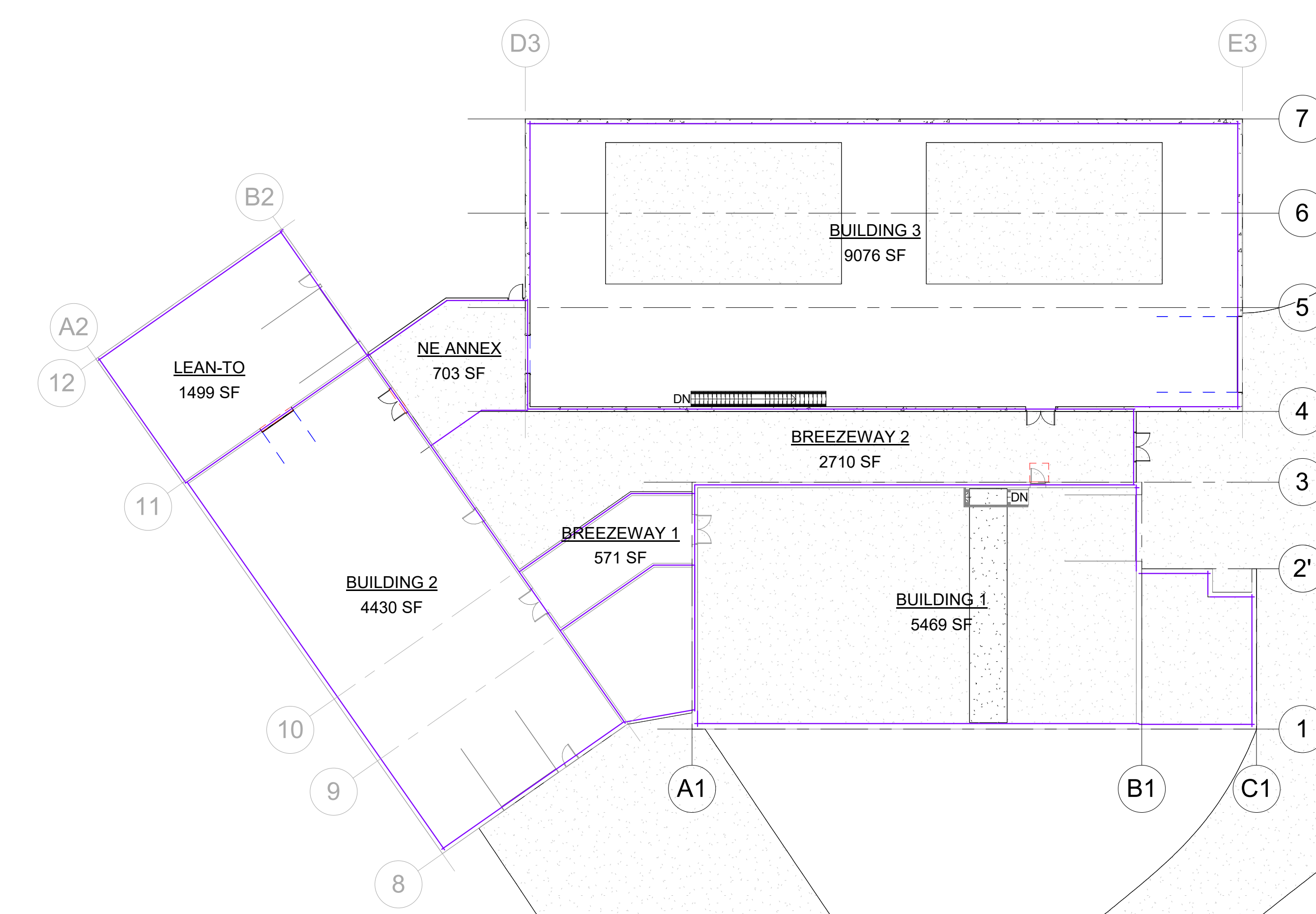
1210.2.2 WALLS AND PARTITIONS, WALLS AND PARTITIONS WITHIN 2 FEET (610 MM) OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 4 FEET (1219 MM) ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.

(P) 1210.3.2 URINAL PARTITIONS. EACH URINAL UTILIZED BY THE PUBLIC OR EMPLOYEES SHALL OCCUPY A SEPARATE AREA WITH WALLS OR PARTITIONS TO PROVIDE PRIVACY.

EXCEPTIONS:
 1. URINAL PARTITIONS SHALL NOT BE REQUIRED IN A SINGLE OCCUPANT OR FAMILY OR ASSISTED-USE TOILET ROOM WITH A LOCKABLE DOOR.



3 L0
1" = 20'-0"



4 L1
1" = 20'-0"

LIFE SAFETY - GRAPHIC LEGEND

- EXIT SIGN, SINGLE SIDED, CLG. MOUNTED
- EXIT SIGN W/DIRECTION ARROW; SINGLE SIDED; CLG. MOUNTED
- EXIT SIGN W/DIRECTION ARROW; DOUBLE SIDED; CLG. MOUNTED
- EGRESS ROUTE/TRAVEL DISTANCE
- FIRE EXTINGUISHER W/CABINET
- EMERGENCY LIGHTS



ID8 ARCHITECTURE, LLC
 418 MAIN AVE. SUITE #1
 BROOKINGS, SD 57006
 (W) WWW.ID8ARC.COM
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DATE	Issue Date	
NO.	DESCRIPTION	DATE

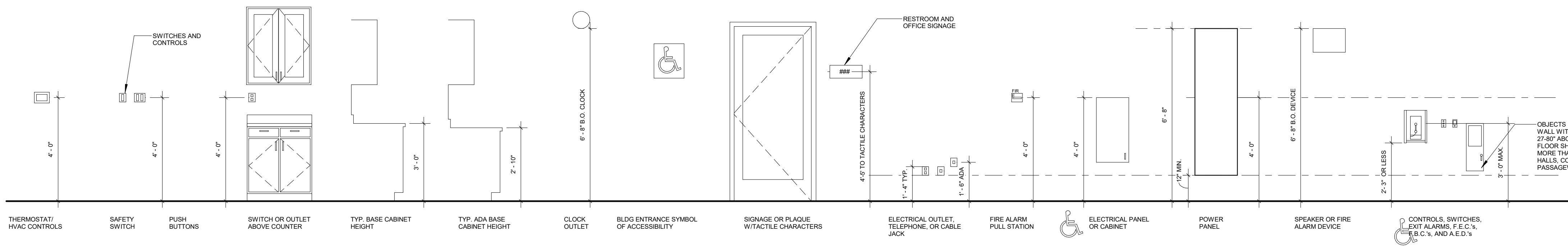
RCWD - PLATTE TREATMENT PLANT BUILDING 3
 28240 362nd AVE. PLATTE, SD 57369

ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

CODE REVIEW
 SCALE: As indicated

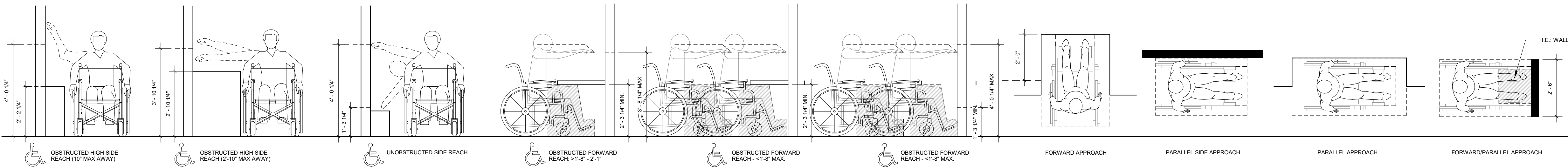
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MOUNTING HEIGHTS - TYP. & ADA

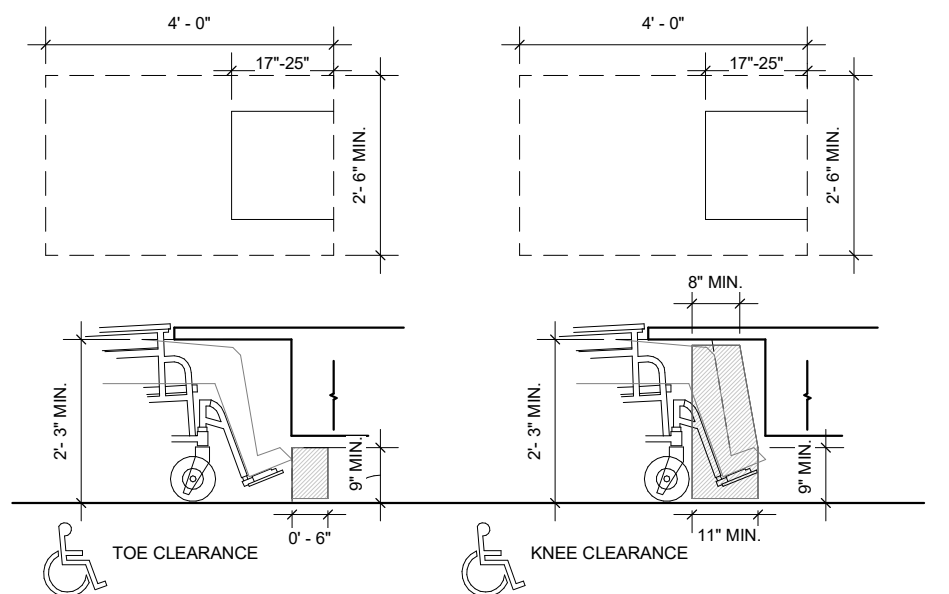


- ACCESSIBLE MOUNTING NOTES:**
- MOUNTING DIMENSIONS SHOW ACCESSIBLE AND NON-ACCESSIBLE CONDITIONS. WHEN ONLY ONE OPTION IS SHOWN - ALL ITEMS IN PROJECT SHALL BE ACCESSIBLE. DRAWINGS WILL INDICATE LOCATION OF ACCESSIBLE ITEMS BY THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY.
 - COORDINATE ITEMS SHOWN ON THIS DRAWINGS WITH PLANS AND SPECIFICATIONS FOR ACTUAL ITEMS USED ON THIS PROJECT. ALL ACCESSIBILITY STANDARDS ARE BASED ON IBC AND ANSI A117.1 2009.
 - MINIMUM AND MAXIMUMS ARE SHOWN TO ALLOW ADJUSTMENTS TO CONDITIONS IN THE FIELD. WHEN POSSIBLE, TRY TO MAINTAIN A TYPICAL MOUNTING HEIGHT THROUGHOUT PROJECT.
 - STRUCTURAL STRENGTH FOR GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL SUSTAIN A 250 LB LOAD AS PER UFAS 4.26.3.
 - GRAB BARS SHALL NOT ROTATE IN THEIR FITTINGS AS PER UFAS 4.26.3.
 - PROVIDE BACKING/BLOCKING AS NEEDED TO INSTALL ALL FIXTURES AND EQUIPMENT - COORDINATE WITH OWNER FOR OWNER-FURNISHED/CONTRACTOR INSTALLED ITEMS.
 - WATER CLOSET FLUSH VALVES TO BE LOCATED ON ACCESSIBLE SIDE.
 - THIS IS A UNIVERSAL SHEET - ITEMS SHOWN MAY NOT ALL BE APPLICABLE TO PROJECT.

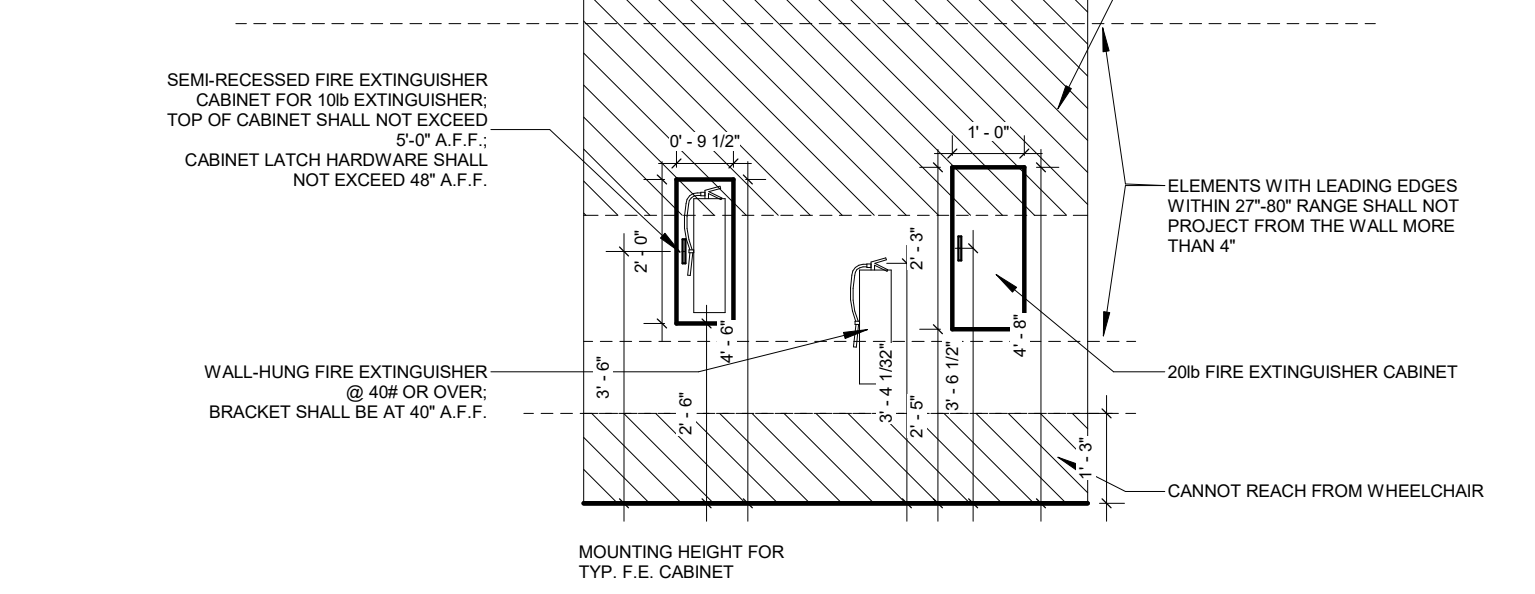
SIDE & FORWARD REACH CLEARANCES AND APPROACHES



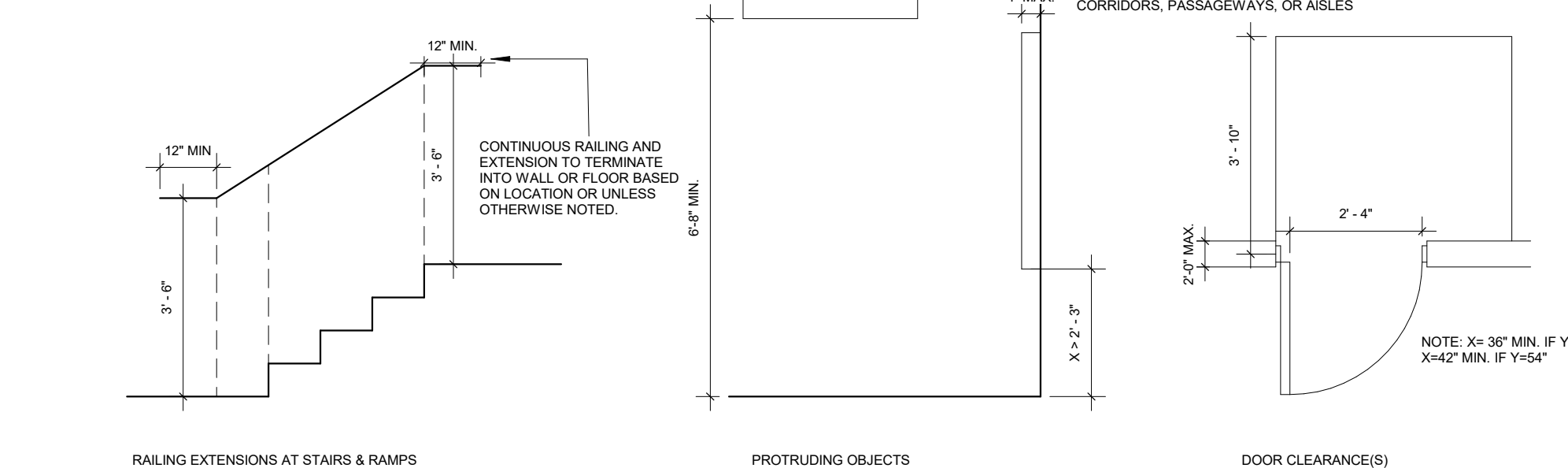
TOE & KNEE CLEARANCES



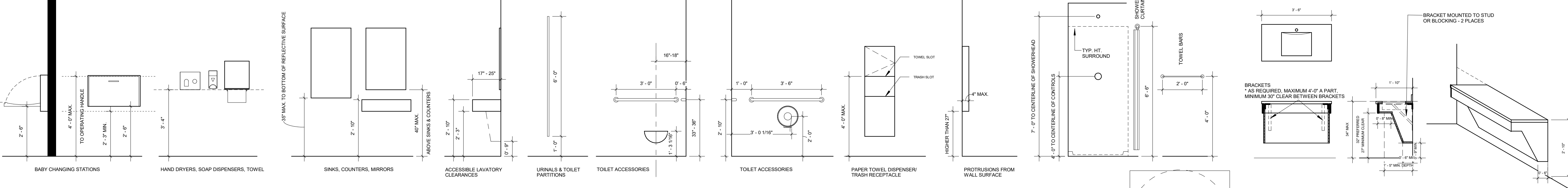
FIRE EXTINGUISHER CABINET



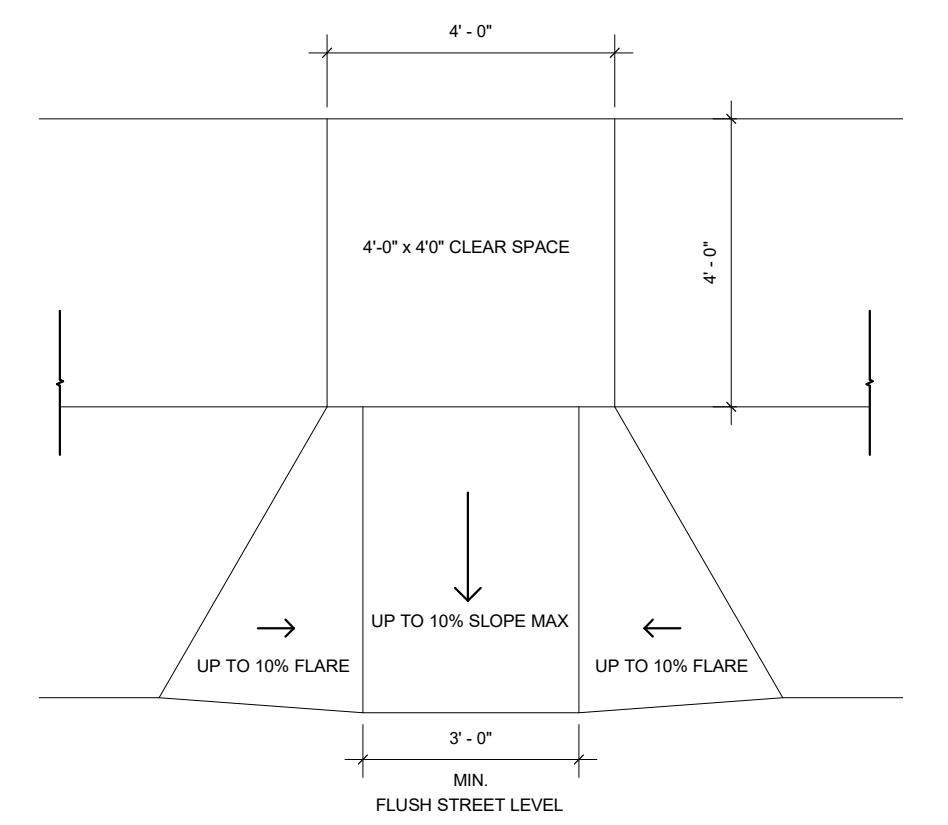
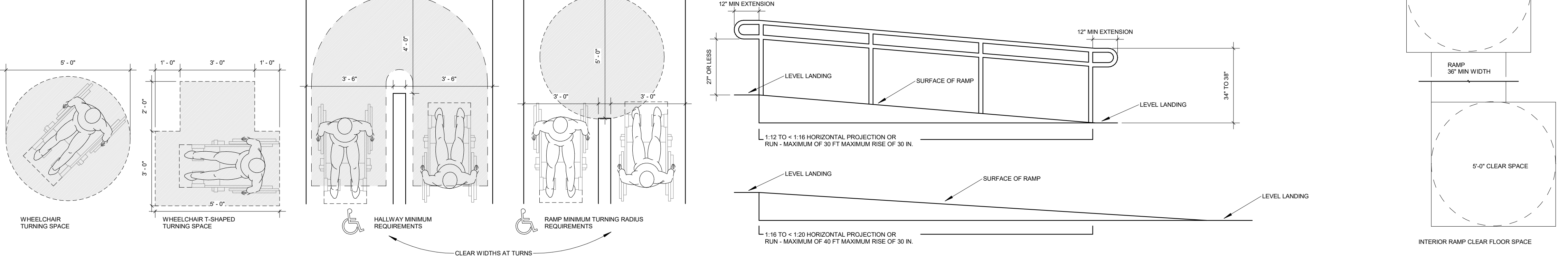
EXTENSIONS, PROTRUSIONS & DOORS



RESTROOMS



TURNING RADIUS - HALLWAYS & RAMPS



NO.	DESCRIPTION	DATE

RCWD - PLATTE TREATMENT PLANT BUILDING 3

28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOB SITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413
ACCESSIBLE MOUNTING HEIGHTS	
SCALE:	As indicated

G0.03

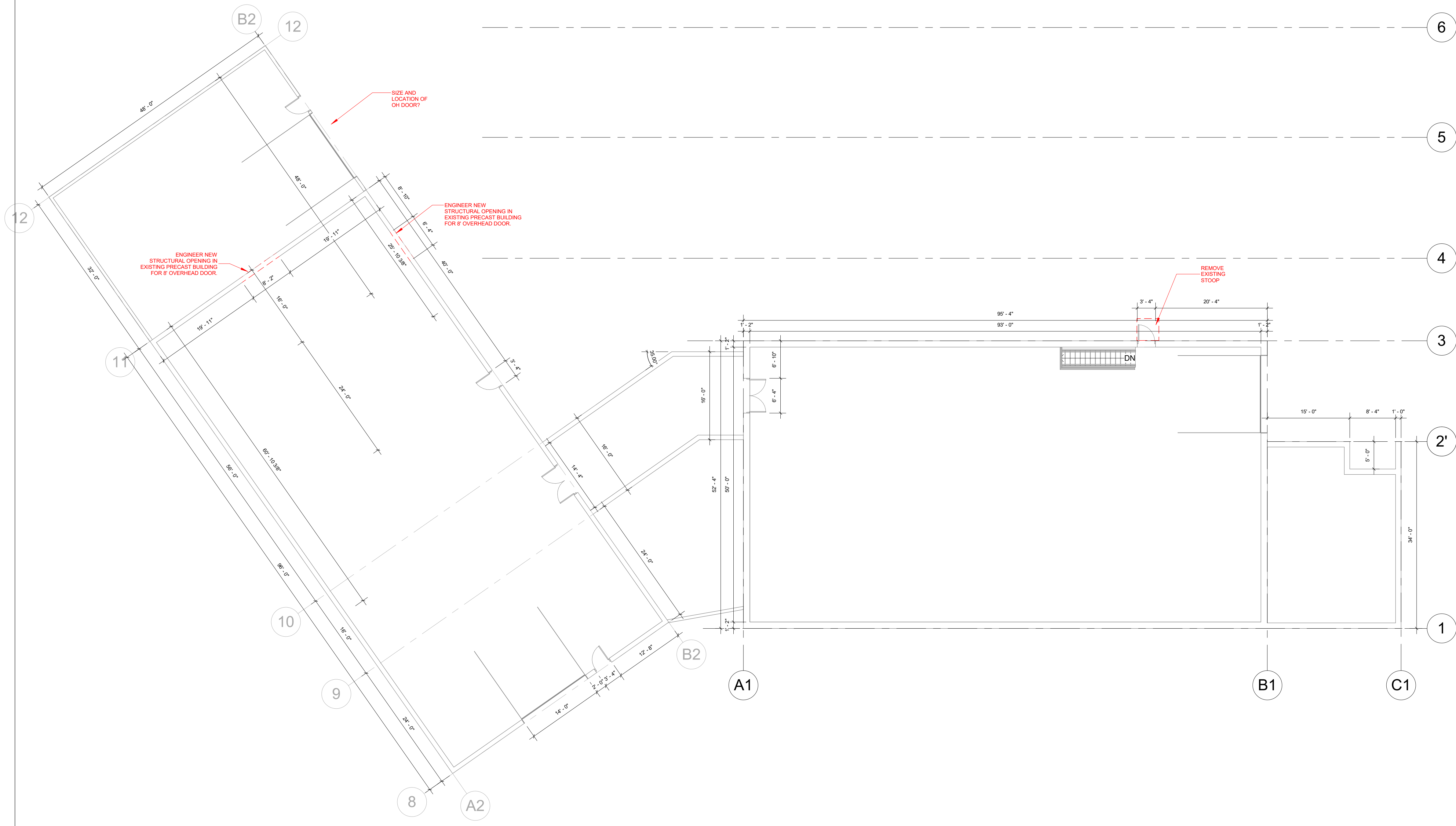
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DEMOLITION GENERAL NOTES:

1. SEE AD1.10 FOR DEMOLITION FLOOR PLANS AND PHASING
2. SEE AD2.01 FOR DEMOLITION ELEVATIONS.
3. VERIFY EXISTING CONDITIONS AND DIMENSIONS, COORDINATE THE EXTENT OF DEMOLITION WORK AND EXISTING WORK TO REMAIN WITH NEW FLOOR PLAN.
4. WALLS, WINDOWS, DOORS AND PARTITIONS SHOWN DASHED ARE INDICATED TO BE REMOVED. REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, AND PIPING, CONDUITS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED.
5. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
6. ALL WINDOWS TO BE SALVAGED FOR OWNER.
7. WEST BRICK FACADE IS TO REMAIN IN PLACE, WINDOWS, DOORS TO BE FILLED WITH BRICK TO BE PAINTED OUT IN PHASE 1.
8. SOUTH & EAST BRICK FACADE THAT HAS WINDOWS/DOORS INFILL NEED BRICK TO MATCH EXISTING BRICK. REMOVE BRICK SILL. CUT LARGER OPENING INTO BRICK TO REPLACE ENTIRE BRICKS AND CREATE SEAMLESS BRICK WALL.
9. REMOVE PORTION OF BRICK AT SOUTH WEST CORNER ON SOUTH FACADE TO TIE NEW STRUCTURE INTO EXISTING BUILDING STRUCTURE.
10. REMOVE PORTION OF BRICK AT NORTH WEST CORNER ON WEST FACADE TO TIE NEW STRUCTURE INTO EXISTING BUILDING STRUCTURE.
11. ALIGN NEW STRUCTURE WITH EXISTING.
12. MAINTAIN SAFE MEANS OF EGRESS, NORTH WEST DOOR THROUGH PHASE 2 – LAST WINDOW/DOOR WINDOW TO BE INSTALLED TO MAINTAIN EGRESS REQUIREMENTS.
13. REMOVE PORTION OF EXISTING ROOF. SALVAGE EXISTING METAL ROOF TO BE USED ON THE HIP ROOF THAT WILL BE REPLACED WITH A GABLE ROOF, TO MAINTAIN CONSISTENCY IN COLOR/FINISH/WEATHERING.
14. AVOID DISRUPTION TO ADJACENT AREAS AS MUCH AS POSSIBLE. KEEP NOISE LEVEL TO AN ACCEPTABLE LEVEL TO THE TENANTS BY COORDINATING EXCESSIVE NOISE TASKS WITH TENANT.
15. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
16. ALL SHUTDOWNS OF MECHANICAL/ELECTRICAL OR PLUMBING SYSTEMS SHALL BE COORDINATED WITH TENANTS.
17. PROVIDE FIRE EXTINGUISHERS PER CODE AT ALL TIMES THROUGHOUT CONSTRUCTION AREA.
18. REMOVE ENTRANCE DOOR ON SOUTH WEST SIDE OF BUILDING AND REPLACE WITH GLAZING.
19. LEVEL EXISTING FLOOR SLAB AS NECESSARY. PREPARE SURFACE TO RECEIVE NEW FINISH. SEE FINISH PLANS A8.10 & A8.20.
20. SEE PHASING DIAGRAM BELOW, REPRESENTS A CLEAR EXITING PATHWAY.
21. REFER TO A1.01 PLANS FOR DIMENSIONS.
22. DURING CONSTRUCTION THE EXISTING MAILBOX WILL TO BE MOVED TO THE SOUTH SIDE OF THE STREET. SEE A1.01 FOR SITE FOR EXISTING AND PROPOSED MAILBOX LOCATION.

DEMOLITION LEGEND

	TEMPORARY WALL LOCATION
	DEMOLISH WALLS, DOORS, WINDOWS
	EXISTING EXTERIOR WALLS
	EXISTING INTERIOR WALLS TO REMAIN
	MEANS OF EGRESS; DOOR TO REMAIN



1 LEVEL 1 DEMO PLAN
3/32" = 1'-0"



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NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**
28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOBSITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

DEMO PLAN LEVEL 1

SCALE: As indicated

AD1.10

8/22/2024 1:41:01 PM

PARKING NOTES:

A. ADD NOTES HERE.

SITE NOTES:

- CONTRACTORS AND SUBCONTRACTORS MUST VERIFY BUILDING SETBACK AND BUILDING FOOTPRINT PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE IS ANY POSSIBILITY OF ENCROACHMENT.
- ANY WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATHWAYS SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE JOB SITE UNLESS THE SITE DESIGN SPECIFICALLY CALLS FOR REDIRECTION AND THE APPROPRIATE PERMITS AND/OR APPLICABLE DRAINAGE STUDIES HAVE BEEN COMPLETED IF REQUIRED BY THE AHJ.
- VERIFY PROPERTY AND BUILDING LINES AND FINISHED FLOOR ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. CONFIRM THAT UTILITIES ARE LOCATED AS SHOWN.
- DRAWINGS ARE NOT TO BE SCALED. BUILD FROM DIMENSIONS INDICATED. VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT/DESIGNER AND/OR ENGINEER OF ANY CONFLICTS.
- AREAS DISTURBED DURING CONSTRUCTION OF DRAINAGE FACILITIES OR UTILITIES (SEWER, WATER, ELECTRIC, FIBER, ETC.) SHALL BE RETURNED TO THEIR NATURAL STATE AND APPROPRIATE TOPSOIL DEPTH PLACED FOR SEEDING OR RE-SEEDING.
- FINISHED GRADE: TO MATCH EXISTING STRUCTURE
- EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSION IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECT/DESIGNER AND/OR ENGINEER FOR A RESOLUTION.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS
- CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
- CONTRACTORS TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
- TOF INDICATES MINIMUM TOP OF FOUNDATION.
- TEMPORARY SECURITY FENCING OR JOBSITE SIGNAGE THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE FOR CONSTRUCTION SITES, AS WELL AS THE AHJ'S STANDARDS AND POLICIES MANUAL, AS APPROPRIATE.

NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
 PLANT BUILDING 3**

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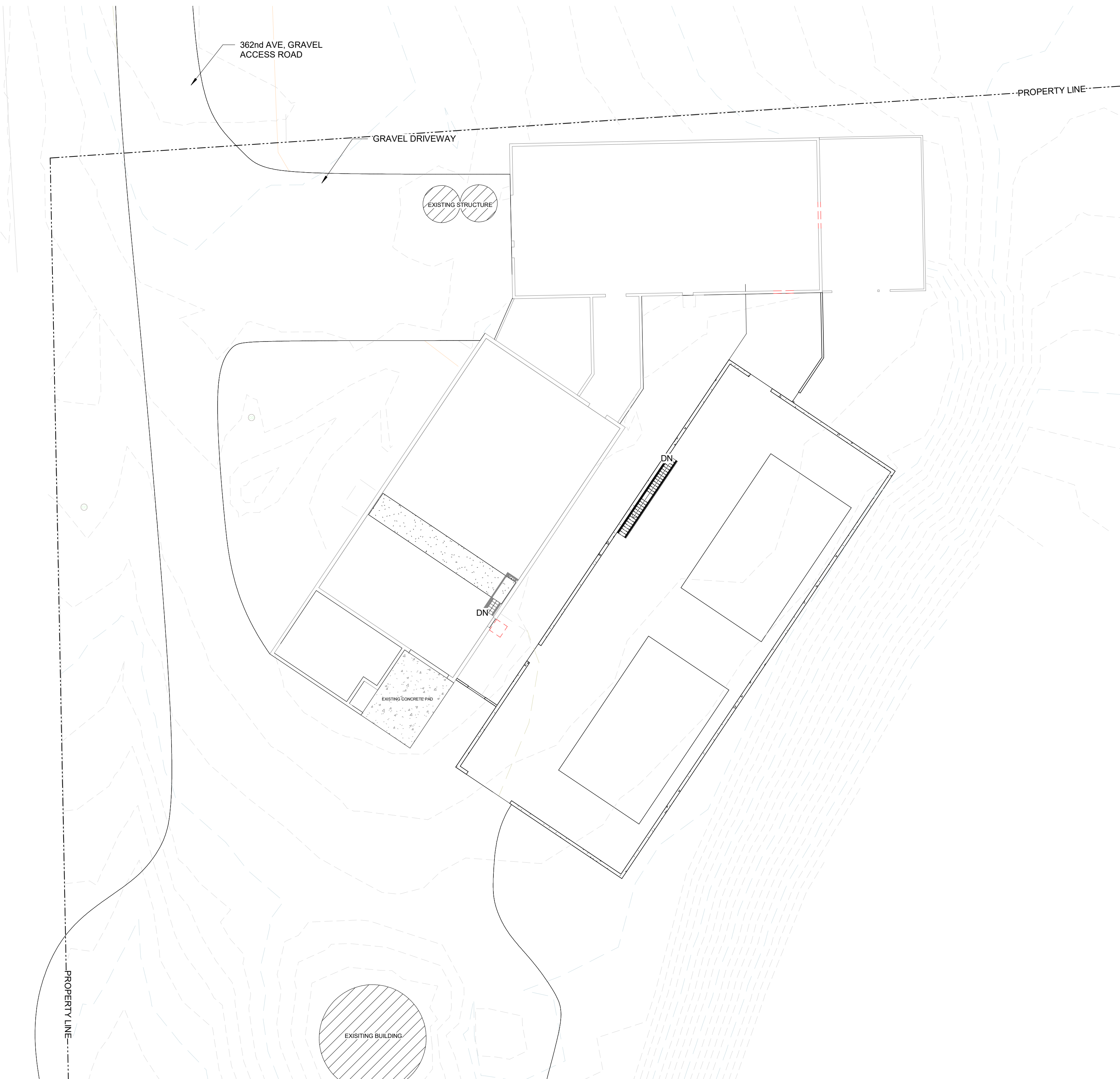
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ARCHITECT	ARB
DRAWN BY	ARB
JOB NUMBER	2413

ARCHITECTURAL SITE PLAN

SCALE: As indicated

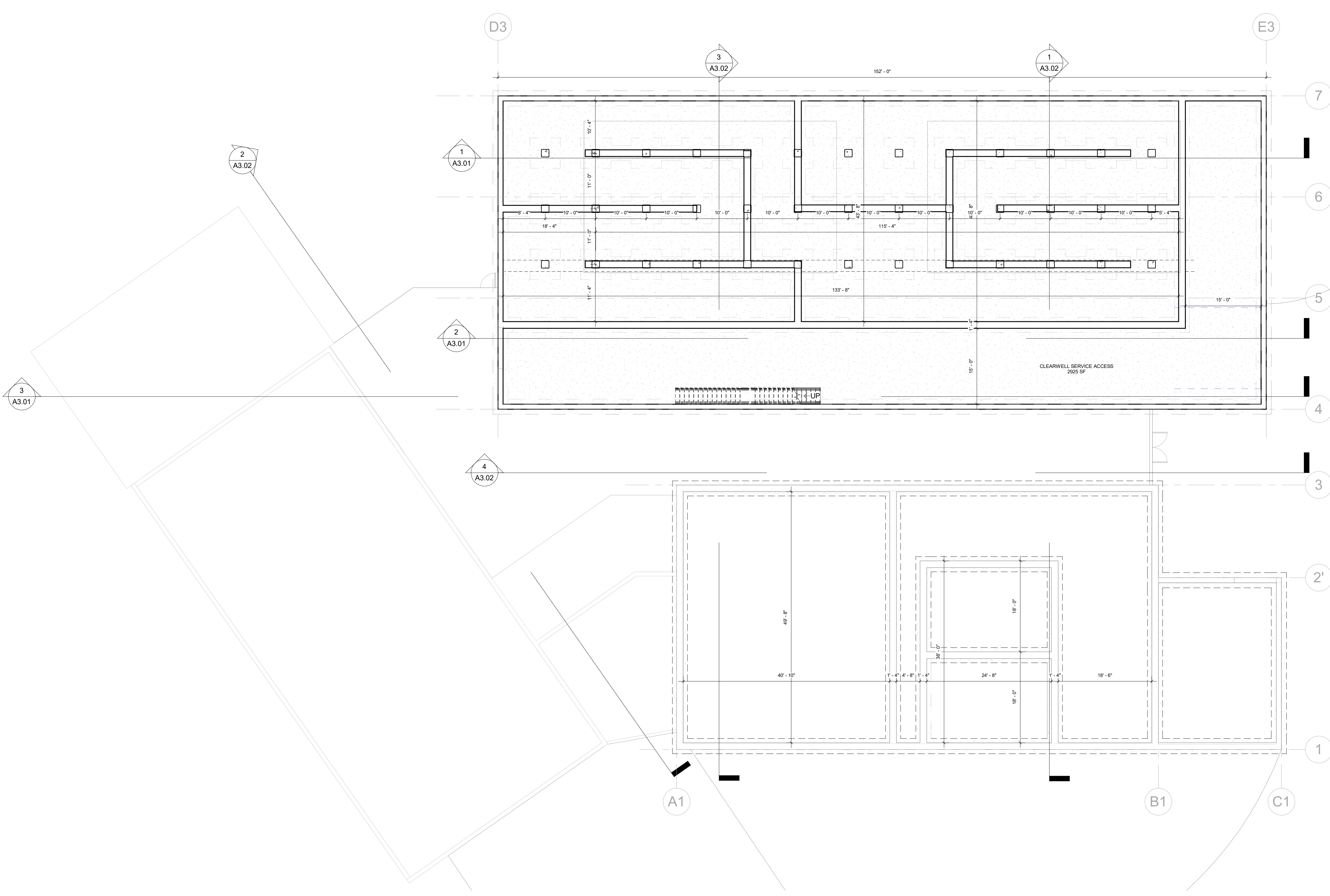
A1.01



SITE SYMBOL LEGEND:

- PROPERTY LINE
- SETBACK LINE
- TRAFFIC PATTERN LINE
- NEW ADDITION
- UTILITY AND/OR DRAINAGE EASEMENTS
- ELECTRICAL TRANSFORMER
- FIRE HYDRANT
- MAILBOX
- GROUND-MOUNTED AC CONDENSING UNIT
- SIDEWALK - CONCRETE PAVING
- WALKS - PAVER OR STAMPED CONCRETE
- EXISTING DECIDUOUS TREES
- EXISTING CONIFEROUS TREES
- GRADING CONTOUR LINES (WITH ELEVATIONS)
- TRAFFIC DIRECTION
- BUILDING MASS W/ROOF OVERHANG

1 SITE PLAN
 1" = 20'-0"



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8. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MEP DRAWINGS AND PROVIDE AS REQ'D
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10. REFER TO SHEETS A5.01 FOR DOOR AND WINDOW SCHEDULES, LEGENDS, AND DETAILS.
11. REFER TO REFLECTED CEILING PLAN (RCP) FOR T.O. WALL AND/OR FINISHED CEILING HEIGHTS.
12. ALL WALL-HUNG CASEWORK, GRAB BARS (IF REQUIRED), TOILET ACCESSORIES, CLOSET SYSTEMS, DOOR HARDWARE AND EQUIPMENT ATTACHED TO WALLS SHALL BE ANCHORED TO BLOCKING. U.N.O. BLOCKING SHALL BE CONTINUOUS AND LOCATED BOTH AT TOP AND BOTTOM OF EQUIPMENT
13. GWB CONTROL JOINTS SHALL BE PROVIDED AS REQ'D BY GWB MFR RECOMMENDATIONS (30' MAX. TYP.) AND ALIGNED WITH DOOR OPENINGS. CONFIRM PLACEMENTS WITH ARCHITECT PRIOR TO INSTALLATION OF GWB.
14. FLOOR DRAINS TO BE PLACED 1/2" BELOW FINISHED FLOOR, U.N.O. SLOPE FLOOR TO DRAIN. COORDINATE WITH MECHANICAL.
15. PLUMBER AND GC TO COORDINATE CAREFULLY WITH PLANS & INTERIOR ELEVATIONS TO ENSURE THAT PLACEMENT OF ROUGH-INS AVOIDS OPERABLE DRAWERS IN CABINETS.



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**RCWD - PLATTE TREATMENT
 PLANT BUILDING 3**
 28240 362nd AVE. PLATTE, SD 57369

1 LEVEL 0 FLOOR PLAN
 3/32" = 1'-0"

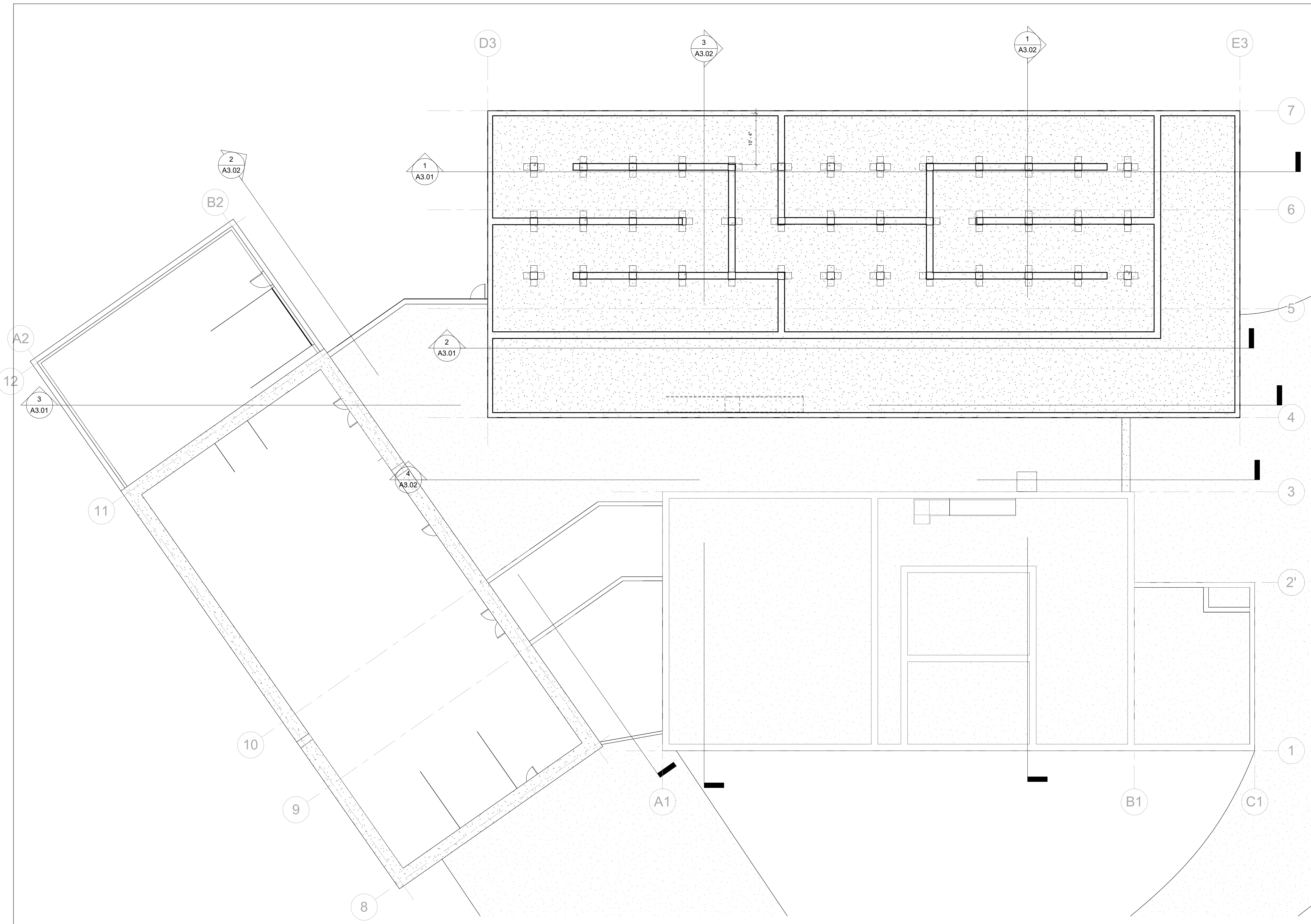
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ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

LEVEL 0 PLAN
 SCALE: As indicated

A1.05

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1 LEVEL 0 REFLECTED CEILING PLAN
3/32" = 1'-0"

REFLECTED CEILING PLAN NOTES:

1. THE FOLLOWING DENOTES THE PRECEDENCE ASSIGNED TO THE WORK ITEMS FOR SPACE PRIORITY (IN DESCENDING ORDER):
 A. RECESSED LIGHT FIXTURES
 B. DUCTWORK
 C. HVAC PIPING
 D. PLUMBING VENT & SUPPLY PIPING
 E. ELECTRICAL/DATA/SECURITY & A/V CONDUIT AND/OR RACEWAYS
2. ALL ITEMS LISTED ABOVE BY PRIORITY SHALL BE INSTALLED TIGHT TO STRUCTURE OF WORK ITEMS ABOVE.
3. MECHANICAL TO BE RUN IN TRUSS SPACE WHEREVER POSSIBLE.
4. CEILINGS TO BE 8'-6" AFF UNLESS NOTED OTHERWISE.
5. LOCATE ELECTRICAL AND MECHANICAL DEVICES AS SHOW ON PLAN. ADJUSTMENTS MUST BE VERIFIED WITH ARCHITECT.
6. ACOUSTICAL CEILING GRID TO BE CENTERED IN THE SPACE AS INDICATED.
7. ALL RECESSED CAN LIGHTS TO BE CENTERED IN CENTER OF ACOUSTIC CEILING TILES UNLESS OTHERWISE INDICATED.
8. PERIMETER CEILING TILES SHALL NOT BE LESS THAN 4" U.N.O.
9. LOCATE ALL SPRINKLER HEADS, SMOKE DETECTORS, AUDIO SPEAKERS, ETC. IN CENTER OF CEILING TILE.
10. SPRINKLER HEADS ARE TO BE LOCATED PER CERTIFIED INSTALLER, CENTERED IN CEILING TILE, & RECESSED.
11. SEE A5.50 FOR INTERIOR DETAILS REGARDING SOFFITS.

REFLECTED CEILING PLAN SYMBOL LEGEND

	2X4 INDIRECT/DIRECT LED FIXTURE
	RECESSED CAN
	DIRECTIONAL RECESSED CAN
	DECORATIVE PENDANT
	DECORATIVE SEMI FLUSH FIXTURE
	EXTERIOR RECESSED CAN
	EXTERIOR WALL SCONCE
	EXTERIOR WALL PACK
	BATH VANITY FIXTURE
	ATTIC ACCESS HATCH
	FINISH CEILING HEIGHT
	EXIT SIGN
	GWB CEILING
	2x2 GRID CEILING



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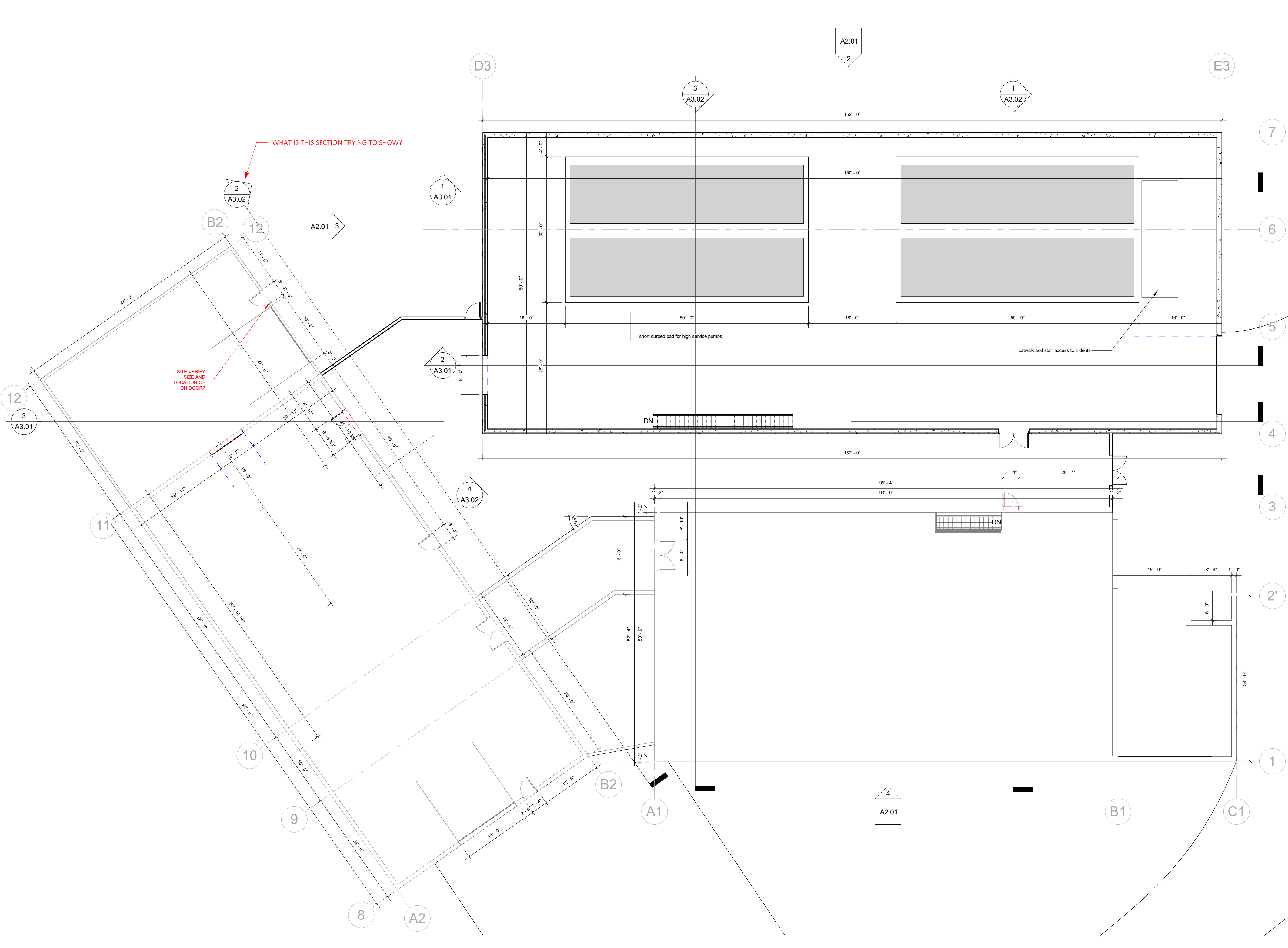
ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

L0 REFLECTED CEILING PLAN

SCALE: As indicated

A1.06

8/22/2024 1:41:03 PM



GENERAL NOTES:

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**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**
28240 362nd AVE. PLATTE, SD 57369

WALL TYPE HATCH LEGEND

◊C40	2x4 WOOD STUD @ 16" O.C.; 7/16" OSB ONE SIDE; 5/8" TYPE X GWB INTERIOR BOTH SIDES
◊C4	2x4 WOOD STUD @ 16" O.C.; 5/8" TYPE X GWB EA. SIDE
◊C4A	2x4 WOOD STUD @ 16" O.C. TO THE DECK ABOVE; 1/2" SOUND BOARD ONE SIDE; 5/8" TYPE X GWB EA. SIDE
◊C6	2x6 WOOD STUD @ 16" O.C.; 5/8" TYPE X GWB EA. SIDE
◊E6	2x6 WOOD STUD; 7/16" OSB; TYVEK; METAL SIDING; CELLULOSE W/GLUE BINDER INSULATION; 6 MIL POLY; 5/8" TYPE X GWB INTERIOR
◊E6B	2x6 WOOD STUD; 7/16" OSB; TYVEK; BRICK; 6 MIL POLY; 5/8" TYPE X GWB INTERIOR
◊E6	2x6 EXISTING WALLS - THICKNESS VARIES
◊E6B	2x6 EXISTING WALLS W/BRICK - THICKNESS VARIES
◊E6F	2x6 EXISTING WALLS W/BRICK - THICKNESS VARIES
◊F8	8" FOUNDATION WALL
◊F12	12" FOUNDATION WALL - BRICK LEDGE
◊ST	STOREFRONT ALUMINUM GLASS WALL ST#####-AL *SEE A6.01 FOR CONFIGURATION & SIZING

① LEVEL 1 FLOOR PLAN
3/32" = 1'-0"

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOBSITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	ARB
DRAWN BY	ARB
JOB NUMBER	2413

LEVEL 1 PLAN

SCALE: As indicated

A1.10

DATE Issue Date

NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
 PLANT BUILDING 3**

28240 362nd AVE. PLATTE, SD 57369

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ARCHITECT ARB

DRAWN BY RWP

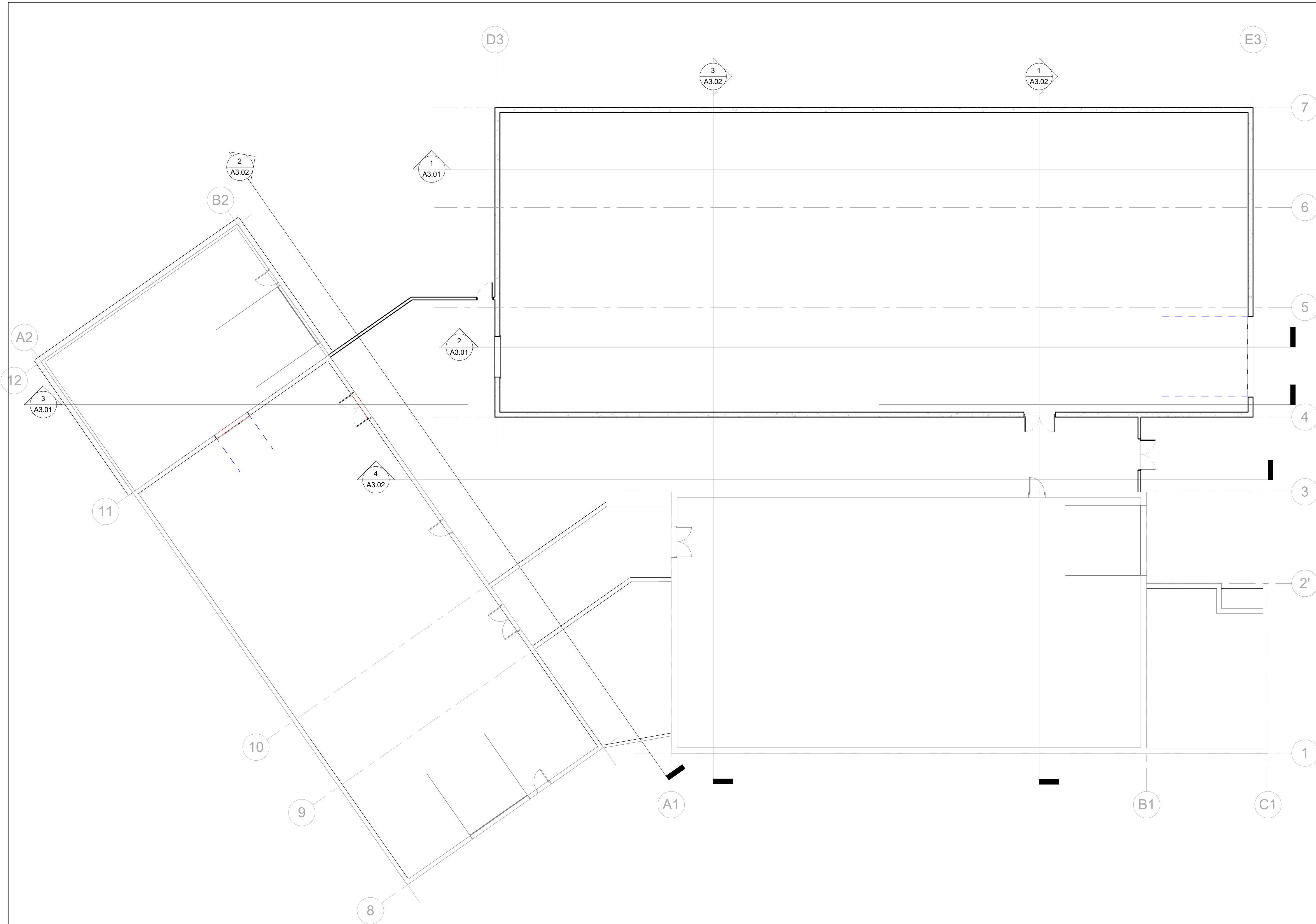
JOB NUMBER 2413

LEVEL 1 REFLECTED CEILING PLAN

SCALE: As indicated

A1.11

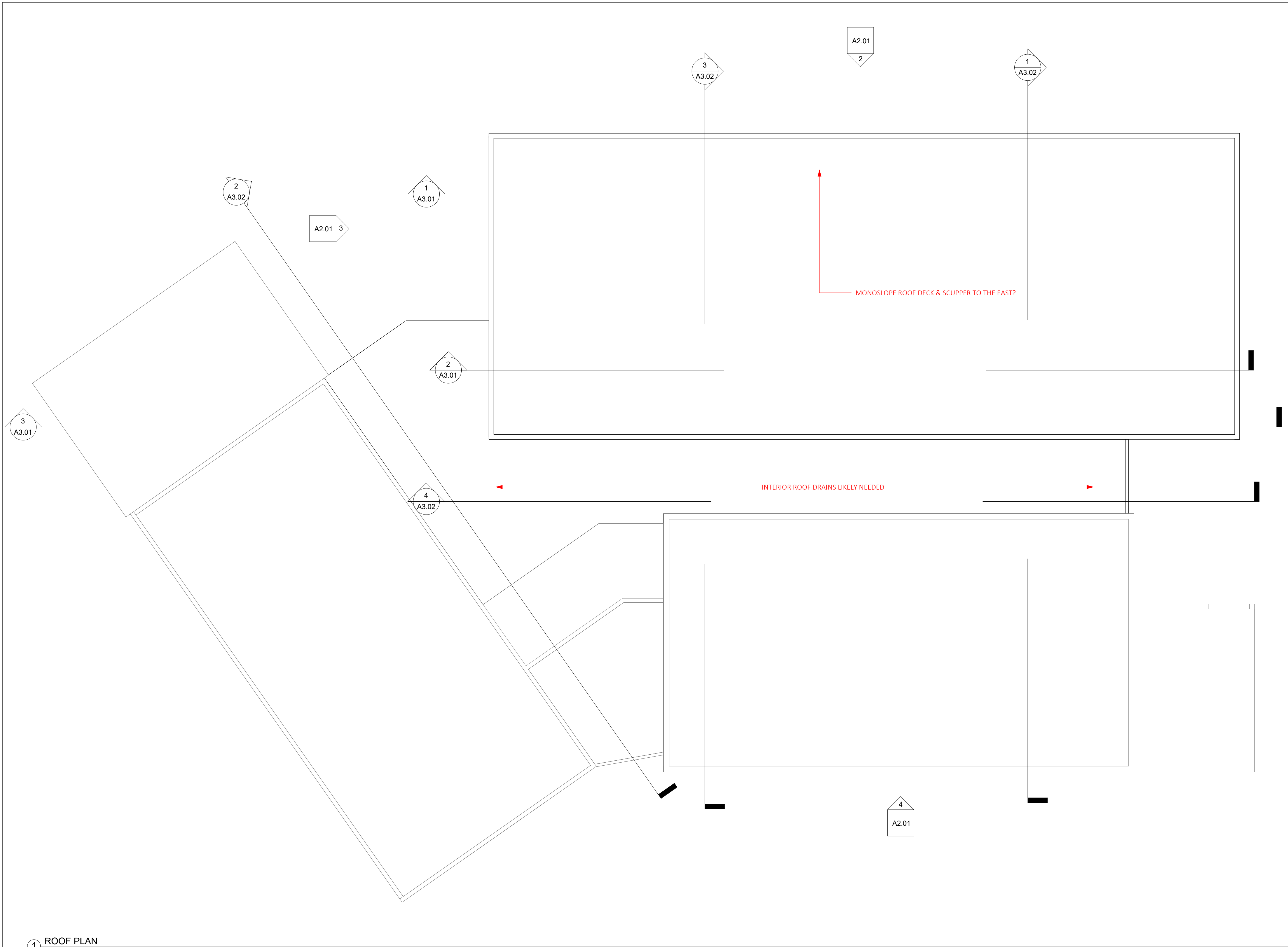
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① LEVEL 1 REFLECTED CEILING PLAN
 3/32" = 1'-0"

REFLECTED CEILING PLAN SYMBOL LEGEND

	LED UTILITY LIGHT
	RECESSED CAN
	DECORATIVE PENDANT
	EXTERIOR RECESSED CAN
	EXTERIOR WALL SCONCE
	GRID-MOUNTED RECESSED COVE LIGHT (RESTROOMS)
	HVAC SUPPLY REGISTER
	BATH EXHAUST FAN
	BATH VANITY FIXTURE
	CEILING FAN WITH LIGHT
	ATTIC ACCESS HATCH
	FINISH CEILING HEIGHT
	VENTED SOFFIT - STEALTH SOFFIT
	METAL SOFFIT TO COORDINATE
	GWB CEILING



ROOF NOTES:

1. PROVIDE "BOOTS" AT TRANSITION FROM DOWNSPOUTS TO STORM SEWER PIPE INLETS WHERE ALL PIPED TIE-INS ARE PLANNED.
2. PROVIDE CAST CONCRETE SPLASH PADS AT ALL DOWNSPOUTS WHERE OVER-LAND DRAINAGE IS PLANNED.



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ROOF PLAN
 SCALE: As indicated

A1.30

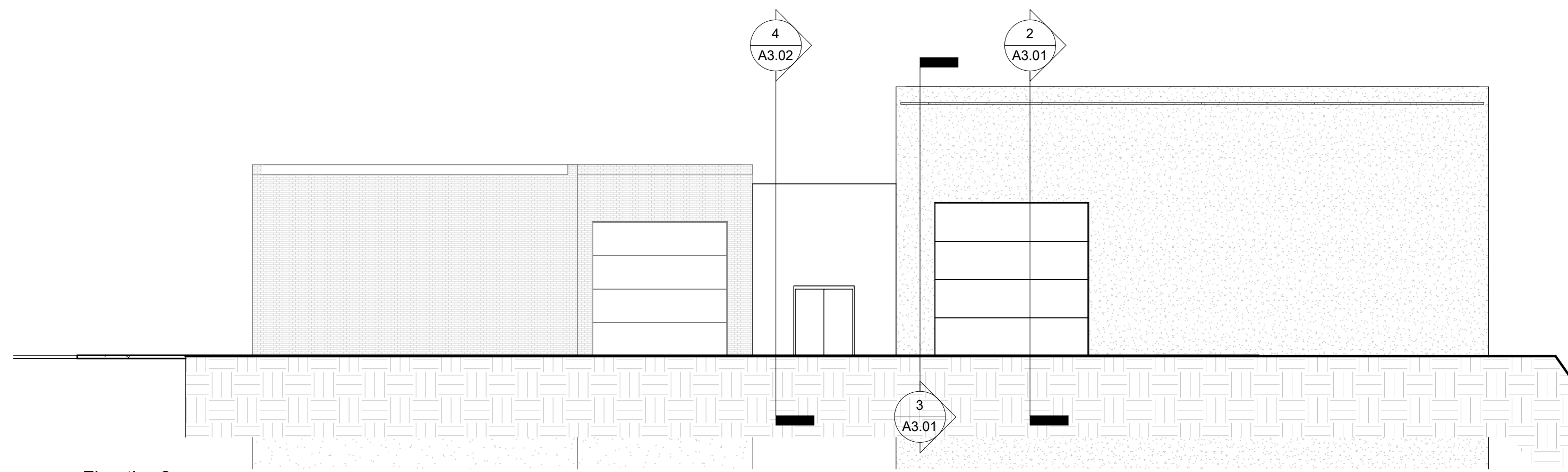
1 ROOF PLAN
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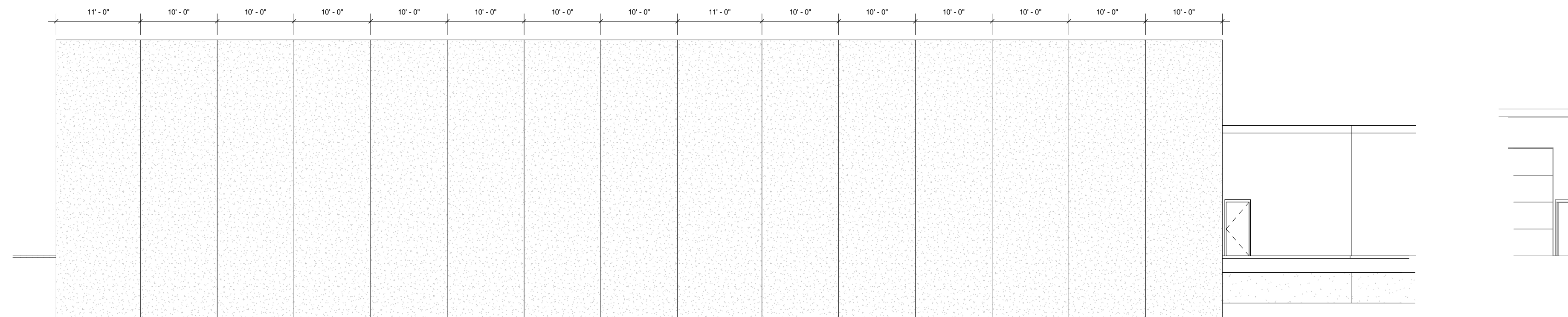
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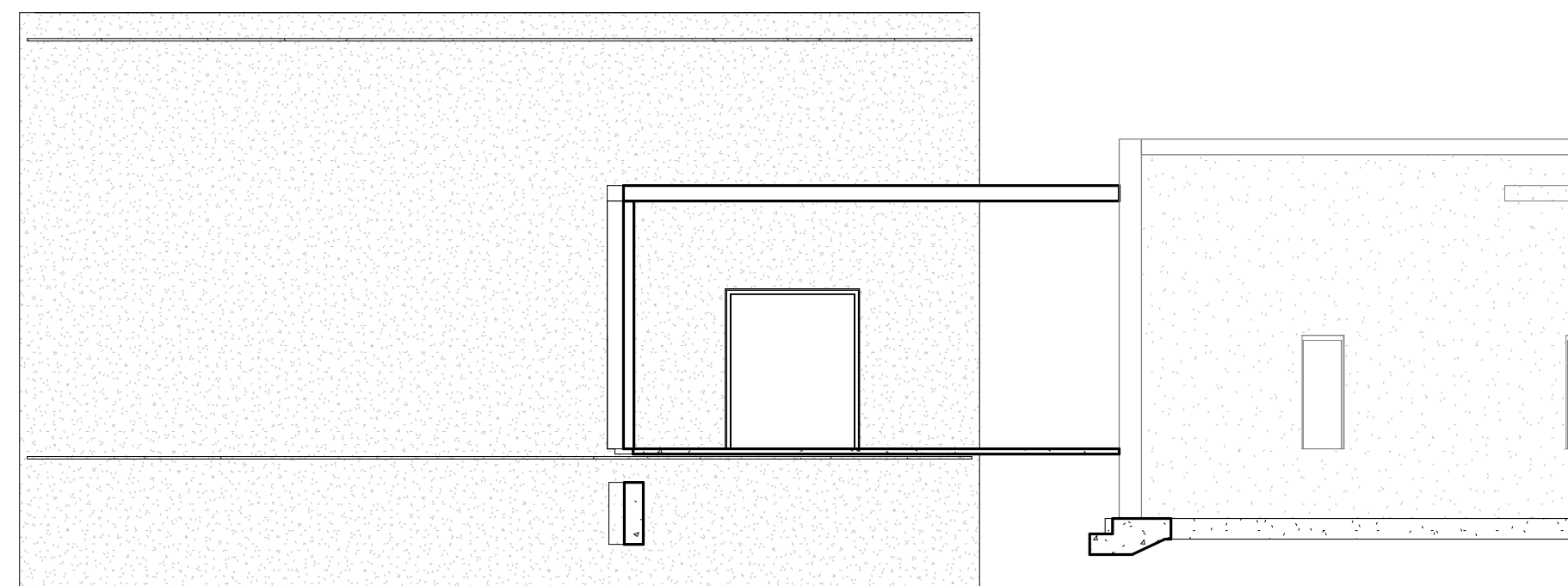
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NO.	DESCRIPTION	DATE



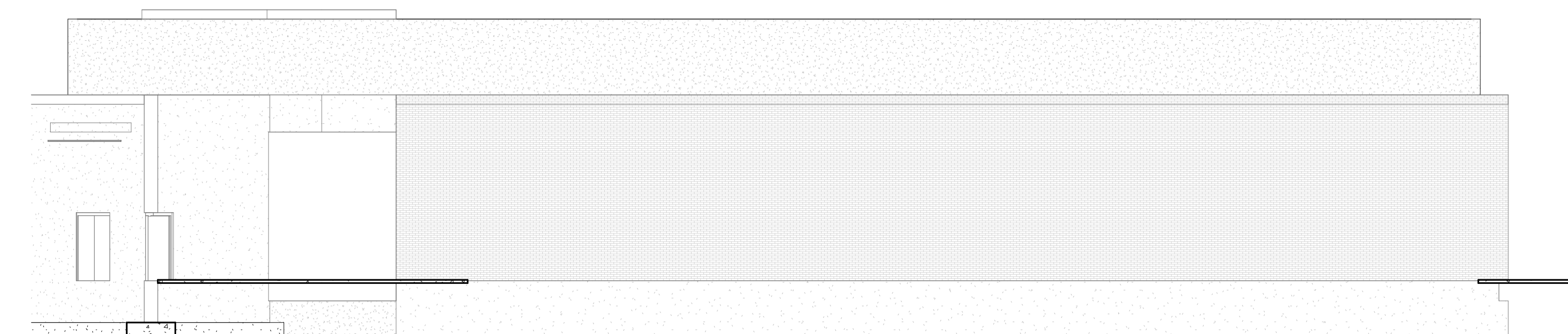
① Elevation 2 - a
3/32" = 1'-0"



② NORTHEAST ELEVATION
3/32" = 1'-0"



③ Elevation 4 - a
3/32" = 1'-0"



④ Elevation 3 - a
3/32" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**

28240 362nd AVE. PLATTE, SD 57369

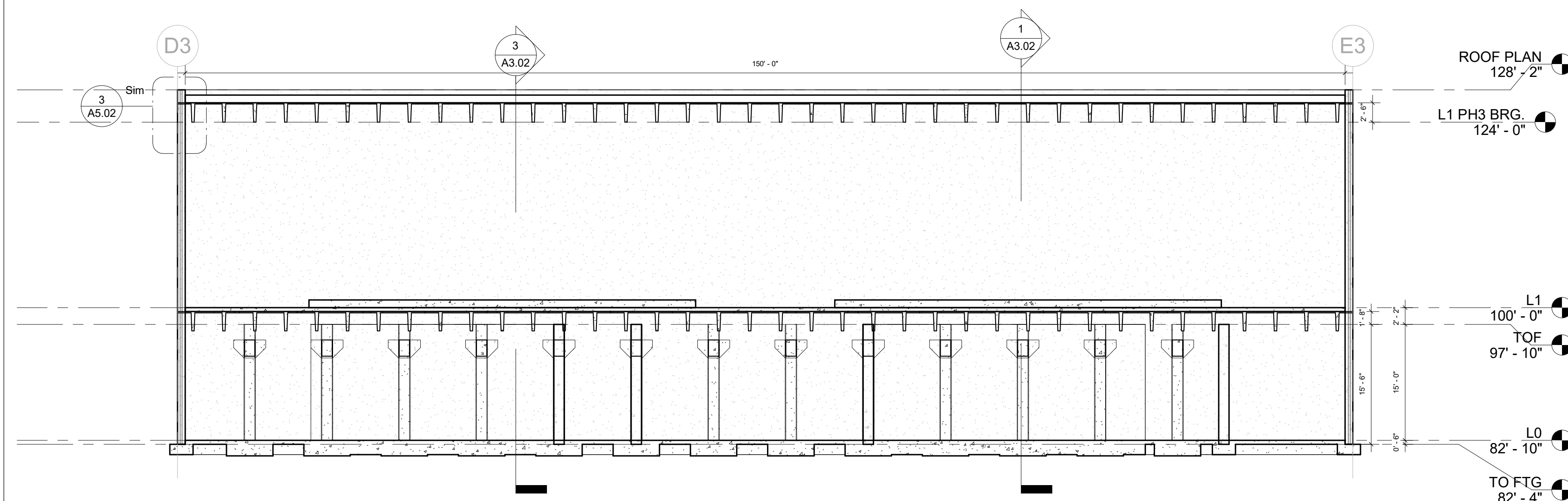
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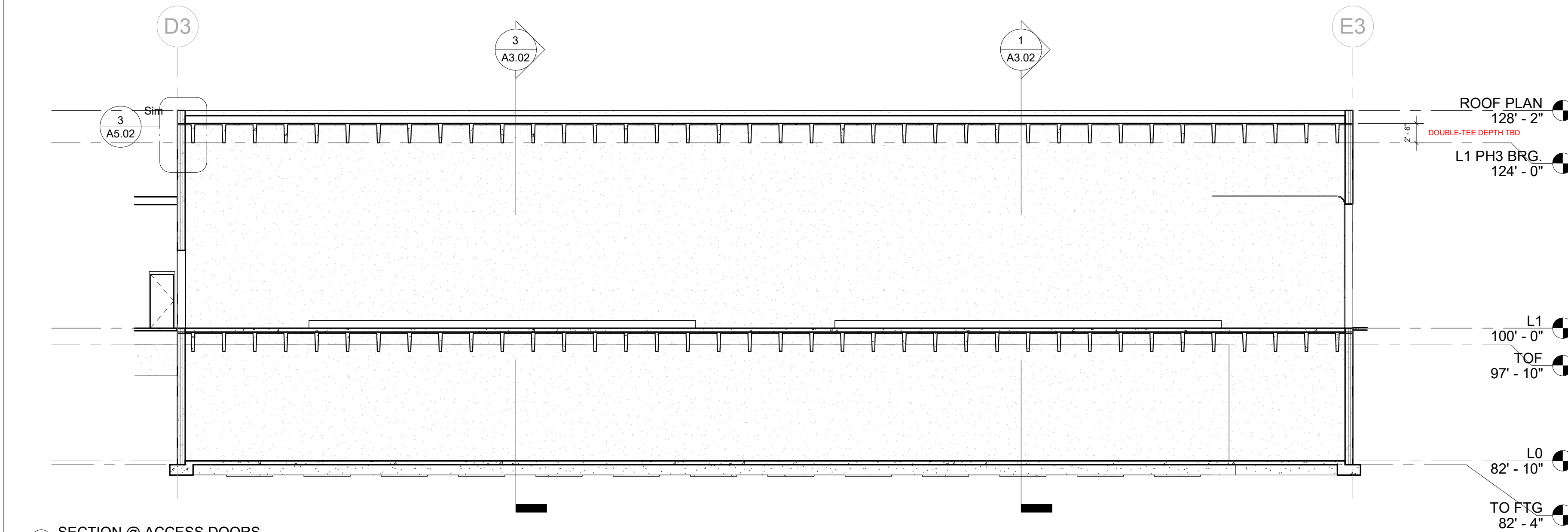
EXTERIOR ELEVATIONS

SCALE: As indicated

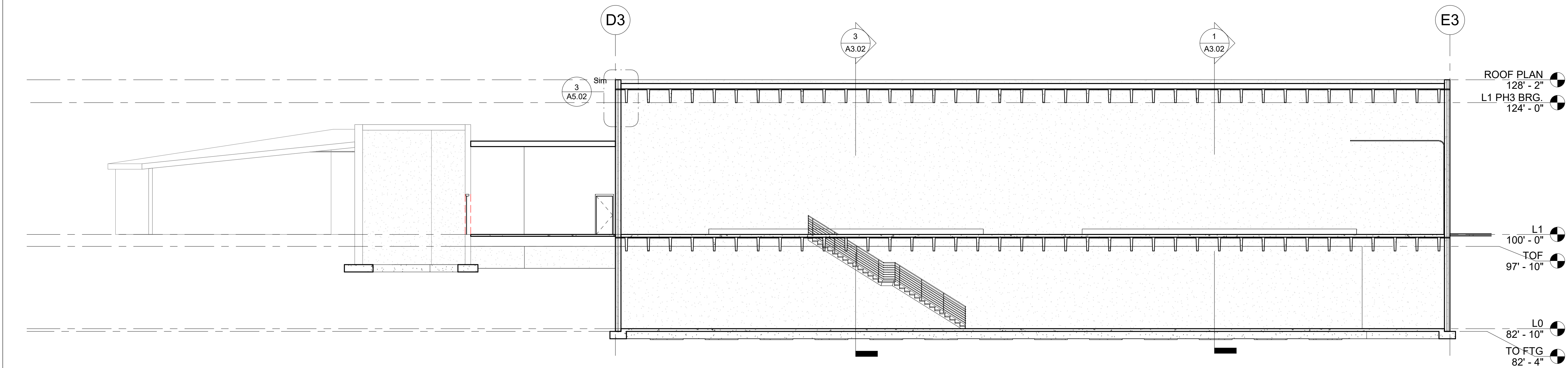
A2.01



① SECTION @ WATER TANKS
3/32" = 1'-0"



② SECTION @ ACCESS DOORS
3/32" = 1'-0"



③ SECTION @ STAIR
3/32" = 1'-0"

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5. ALL INTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF FRAMING OR INTERIOR FACE OF CONCRETE/PRECAST TO CENTERLINE OF PARTITION UNLESS OTHERWISE NOTED.
6. GC TO COORDINATE ALL UNDERGROUND PIPING, MECHANICAL AND ELEC. WORK.
7. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, WALLS AND ROOFS/SOFFITS, PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENING IN THE BUILDING ENVELOPE SHALL BE PROPERLY SEALED, GASKETED, OR WEATHERSTRIPPED TO PREVENT AIR AND WATER PENETRATION.
8. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MEP DRAWINGS AND PROVIDE AS REQ'D
9. WHEN LAYING OUT WALLS, CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO ENSURE ALL REQ'D CLEAR DIMS ARE MAINTAINED AS INDICATED AND PENETRATIONS MISS STRUCTURAL MEMBERS ABOVE OR BELOW. NOTIFY ARCHITECT OF ANY CONFLICTS.
10. REFER TO SHEETS A5.01 FOR DOOR AND WINDOW SCHEDULES, LEGENDS, AND DETAILS.
11. REFER TO REFLECTED CEILING PLAN (RCP) FOR T.O. WALL AND/OR FINISHED CEILING HEIGHTS.
12. ALL WALL-HUNG CASEWORK, GRAB BARS (IF REQUIRED), TOILET ACCESSORIES, CLOSET SYSTEMS, DOOR HARDWARE AND EQUIPMENT ATTACHED TO WALLS SHALL BE ANCHORED TO BLOCKING. U.N.O. BLOCKING SHALL BE CONTINUOUS AND LOCATED BOTH AT TOP AND BOTTOM OF EQUIPMENT
13. GWB CONTROL JOINTS SHALL BE PROVIDED AS REQ'D BY GWB MFR RECOMMENDATIONS (30' MAX. TYP.) AND ALIGNED WITH DOOR OPENINGS. CONFIRM PLACEMENTS WITH ARCHITECT PRIOR TO INSTALLATION OF GWB.
14. FLOOR DRAINS TO BE PLACED 1/2" BELOW FINISHED FLOOR, U.N.O. SLOPE FLOOR TO DRAIN. COORDINATE WITH MECHANICAL.
15. PLUMBER AND GC TO COORDINATE CAREFULLY WITH PLANS & INTERIOR ELEVATIONS TO ENSURE THAT PLACEMENT OF ROUGH-INS AVOIDS OPERABLE DRAWERS IN CABINETS.



ID8 ARCHITECTURE, LLC
418 MAIN AVE. SUITE #1
BROOKINGS, SD 57006
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DATE		Issue Date
NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**

28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOBSITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

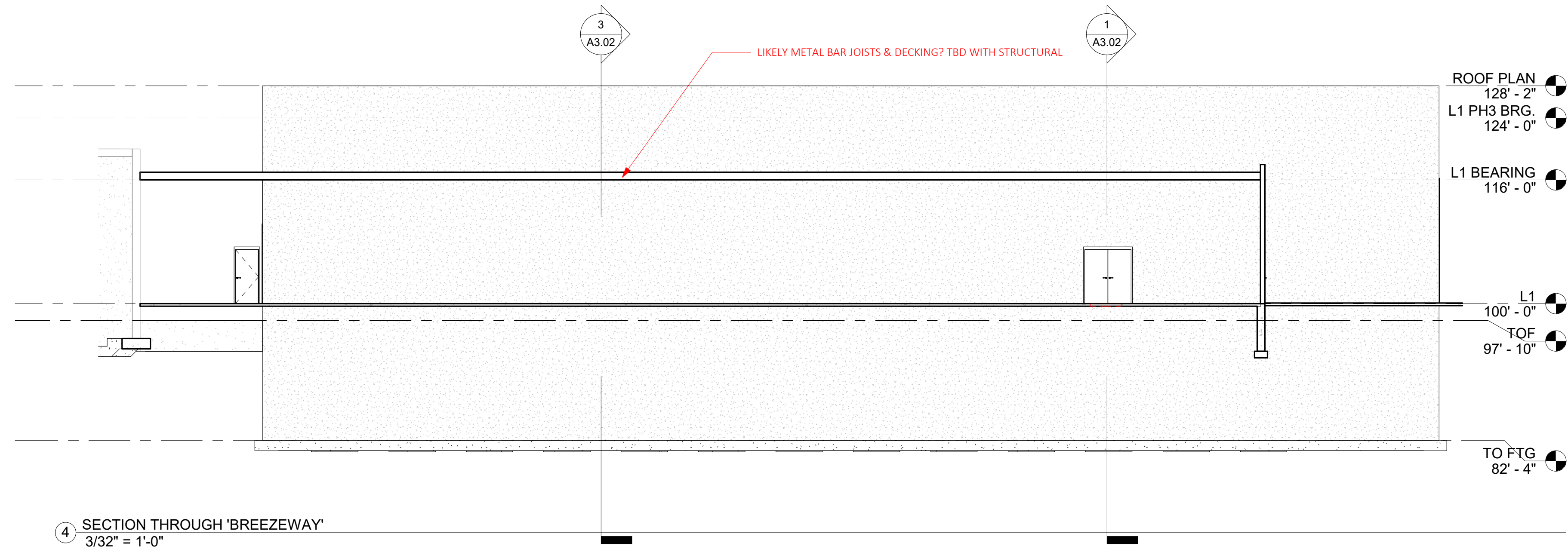
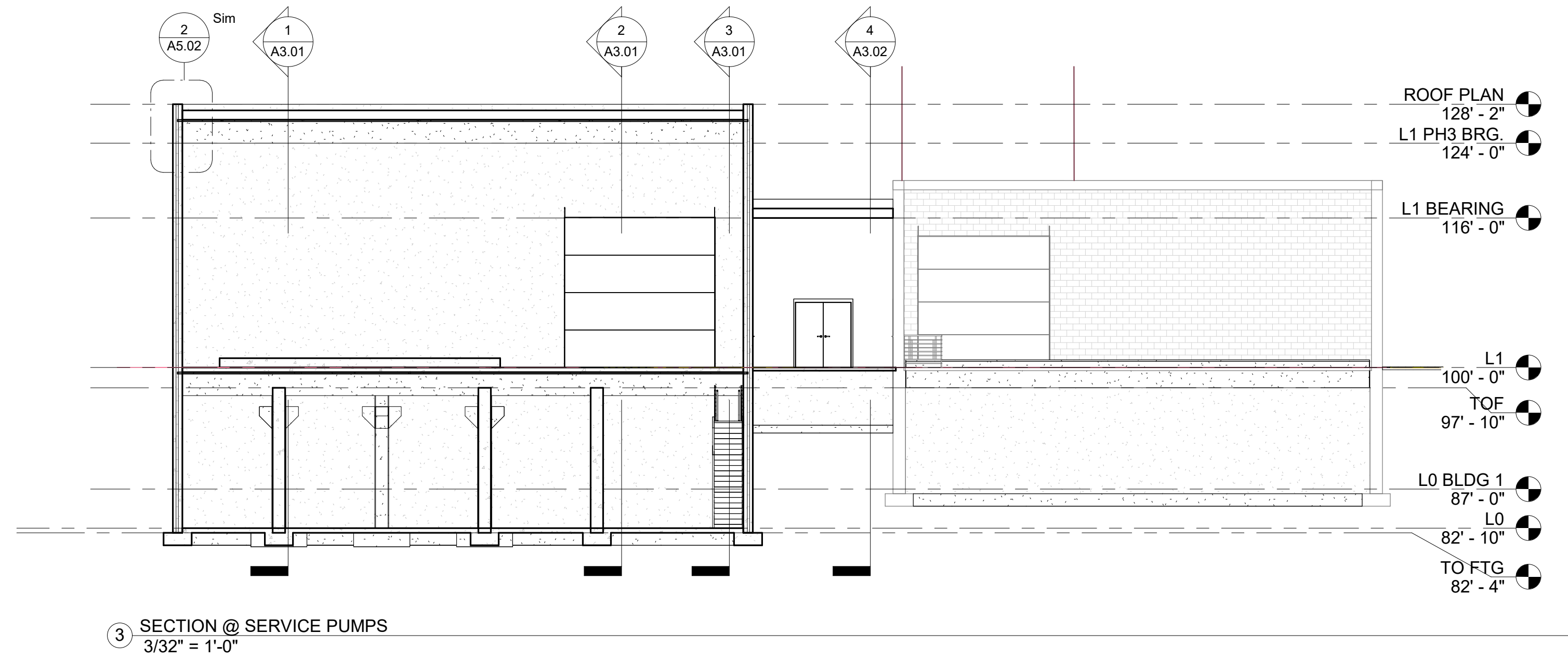
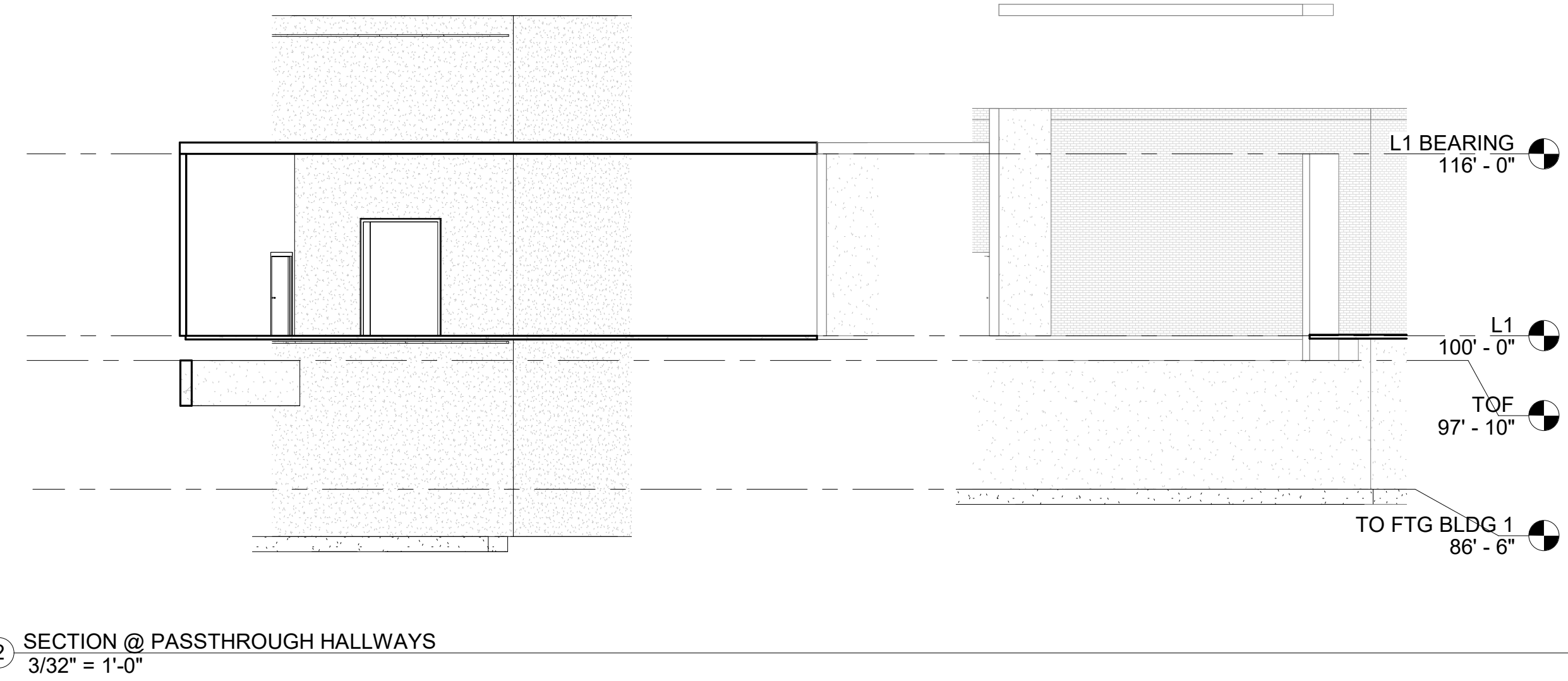
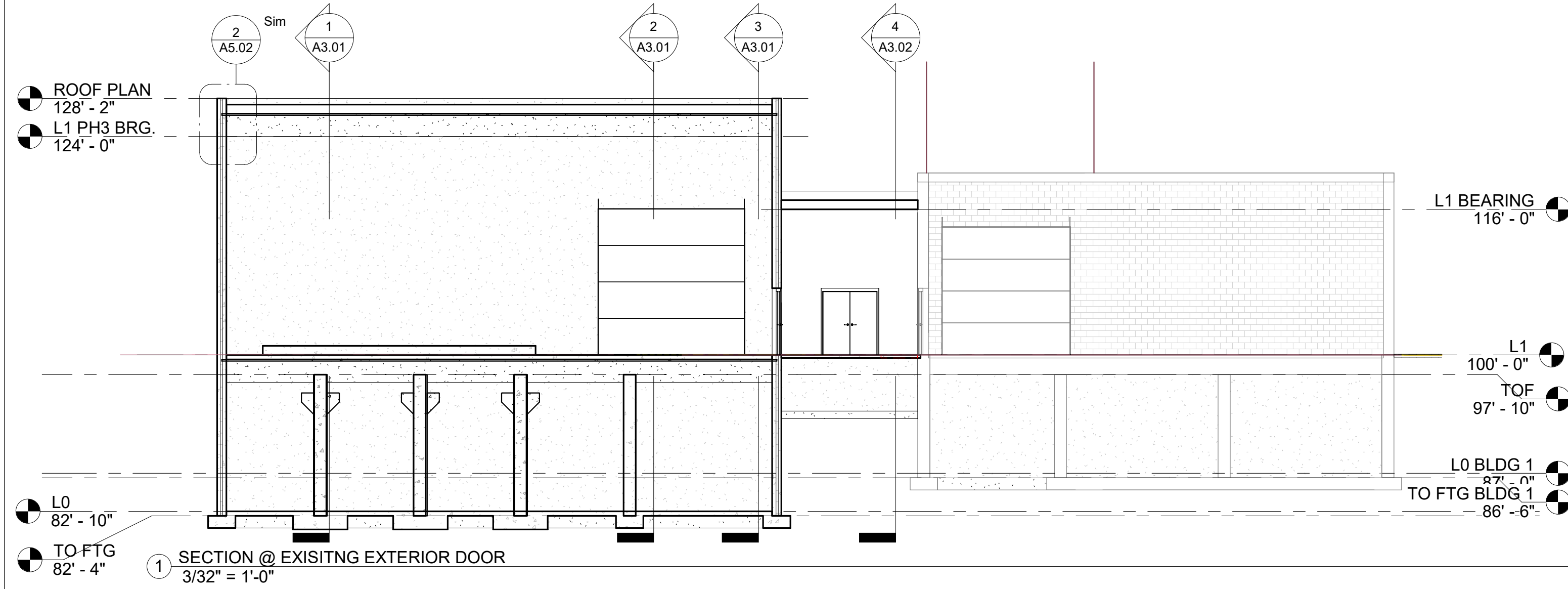
ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

**LONGITUDINAL
BUILDING SECTIONS**

SCALE: As indicated

A3.01

8/22/2024 1:41:07 PM



DATE		Issue Date
NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
 PLANT BUILDING 3**

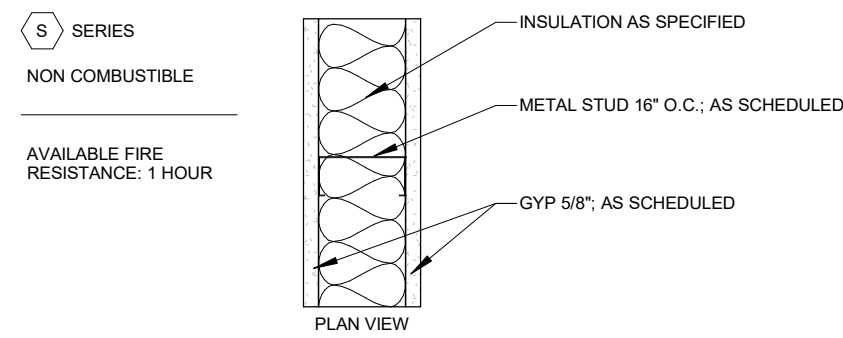
28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOB SITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

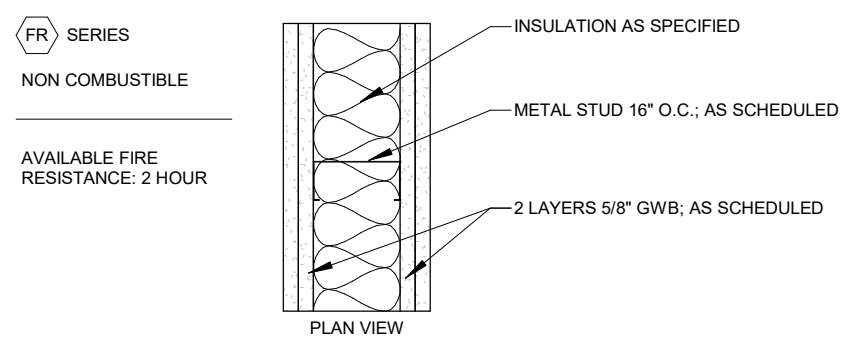
TRANSVERSE BUILDING SECTIONS

SCALE: 3/32" = 1'-0"



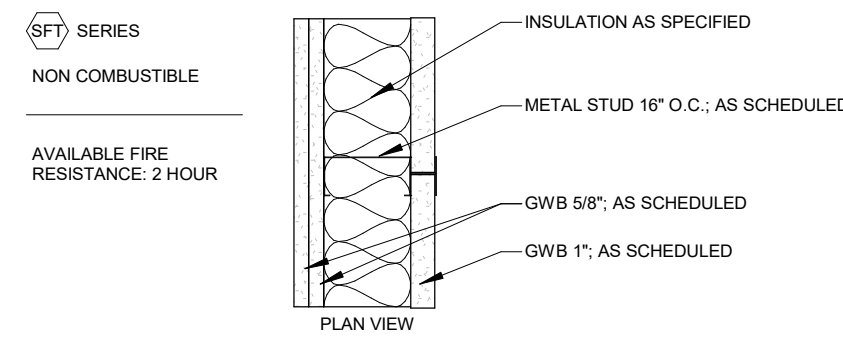
PTN TYPE	STUD WIDTH	PTN WIDTH	1 HOUR CONSTRUCTION TESTS	STC RATING		NOTES
				W/O INSUL	W/ INSUL	
S2	1-5/8"	2-7/8"	U448	40-44	45-49	
S2F	1-5/8"	2-1/4"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S4	3-5/8"	4-7/8"	U465	40-44	45-49	
S4F	3-5/8"	4-1/4"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S6	6"	7-1/4"	U465	40-44	45-49	
S6F	6"	6-5/8"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S8	8"	9-1/4"	U465	40-44	45-49	

1 INTERIOR PARTITION TYPE - S SERIES
1 1/2" = 1'-0"



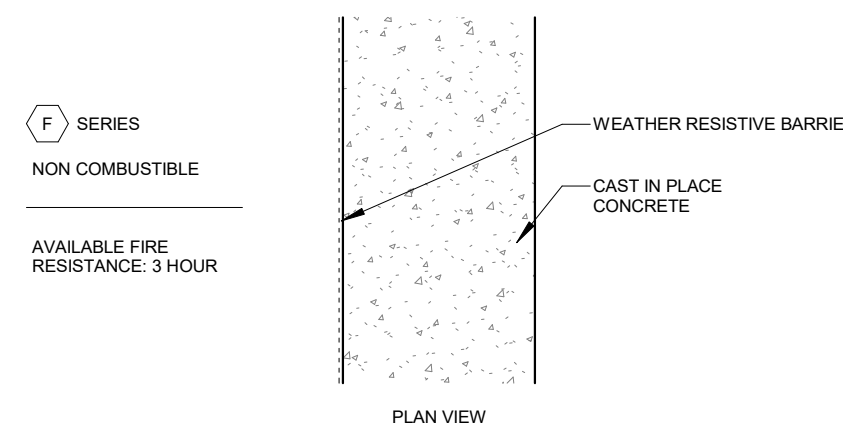
PTN TYPE	STUD WIDTH	PTN WIDTH	1 HOUR CONSTRUCTION TESTS	STC RATING		NOTES
				W/O INSUL	W/ INSUL	
FR2	1-5/8"	4-1/8"	U412	N/A	50-54	FIBERGLASS BATTS FOR SOUND ATTENUATION
FR4	3-5/8"	6-1/8"	U411	45-49	50-54	FIBERGLASS BATTS FOR SOUND ATTENUATION
FR6	6"	8-1/2"	U411	45-49	50-54	FIBERGLASS BATTS FOR SOUND ATTENUATION

5 INTERIOR PARTITION TYPE - FR SERIES
1 1/2" = 1'-0"



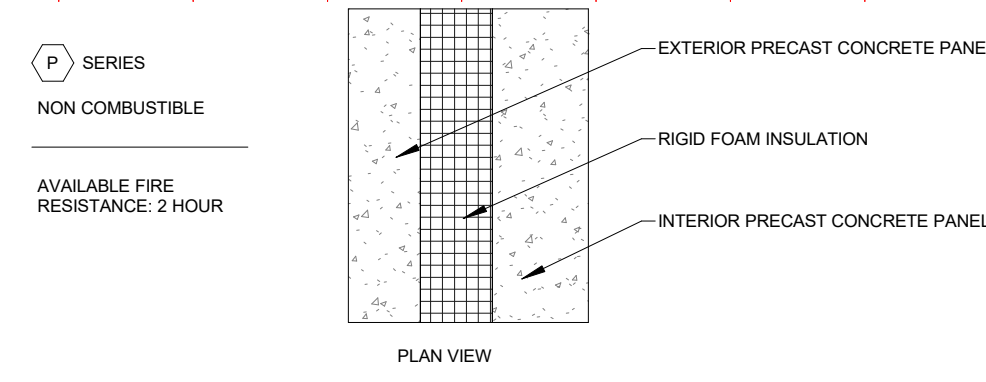
PTN TYPE	STUD WIDTH	PTN WIDTH	1 HOUR CONSTRUCTION TESTS	STC RATING		NOTES
				W/O INSUL	W/ INSUL	
SFT4	3-5/8"	5-7/8"				
SFT6	6"	8-1/4"				

4 INTERIOR PARTITION TYPE - SFT SERIES
1 1/2" = 1'-0"



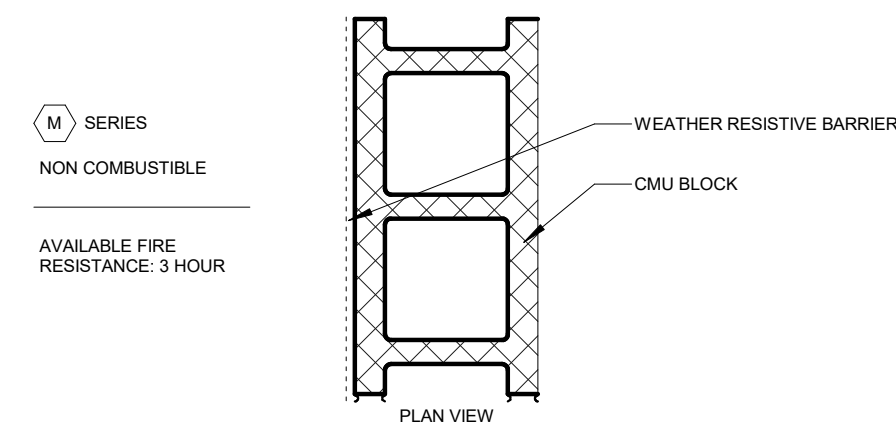
PTN TYPE	EXTERIOR FINISH MATERIAL	EXTERIOR FINISH THICKNESS	CAVITY DEPTH	INSULATION		MOIST/VAP CONTROL	BACK-UP WALL		NOTES
				TYPE	THICKNESS		TYPE	DEPTH	
F6	N/A	N/A	N/A	N/A	N/A	AS SPECIFIED	CAST-IN-PLACE CONCRETE	6"	
F8	N/A	N/A	N/A	N/A	N/A	AS SPECIFIED	CAST-IN-PLACE CONCRETE	8"	
F12	N/A	N/A	N/A	N/A	N/A	AS SPECIFIED	CAST-IN-PLACE CONCRETE	12"	

7 EXTERIOR WALL TYPE - F SERIES
1 1/2" = 1'-0"



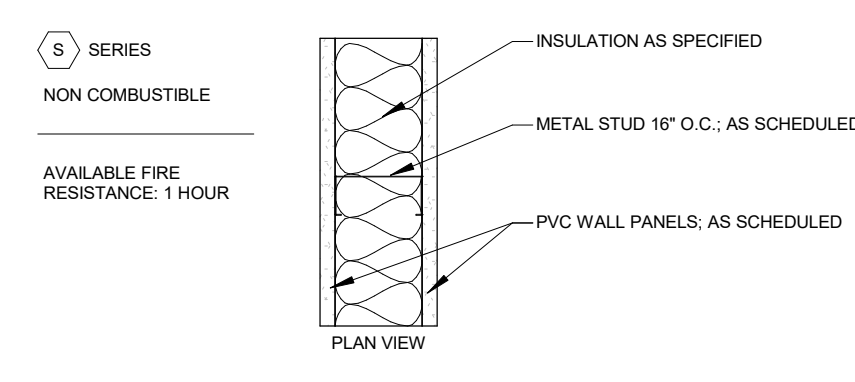
PTN TYPE	EXTERIOR FINISH		INSULATION		MOIST/VAP CONTROL	BACK-UP WALL		NOTES
	MATERIAL	THICKNESS	TYPE	THICKNESS		TYPE	DEPTH	
P10	PRECAST CONCRETE	3"	RIGID FOAM	3"	AS SPECIFIED	PRECAST CONCRETE	4"	
							8"	
							12"	

2 PRECAST SANDWICH TYPE
1 1/2" = 1'-0"



PTN TYPE	EXTERIOR FINISH		CAVITY DEPTH	INSULATION		MOIST/VAP CONTROL	BACK-UP WALL		NOTES
	MATERIAL	THICKNESS		TYPE	THICKNESS		TYPE	DEPTH	
M6	N/A	N/A	N/A	N/A	N/A	AS SPECIFIED	CMU	5-5/8"	
M8	N/A	N/A	N/A	N/A	N/A	AS SPECIFIED	CMU	7-5/8"	

8 EXTERIOR WALL TYPE - M SERIES
1 1/2" = 1'-0"



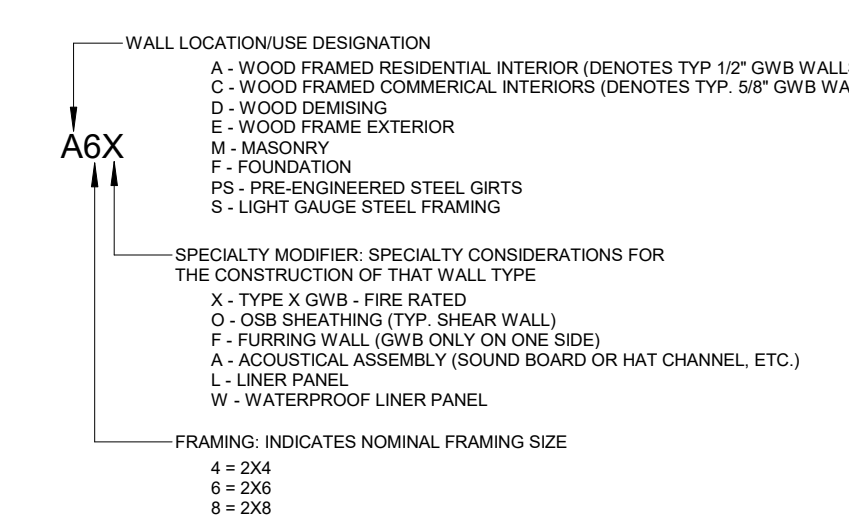
PTN TYPE	STUD WIDTH	PTN WIDTH	1 HOUR CONSTRUCTION TESTS	STC RATING		NOTES
				W/O INSUL	W/ INSUL	
S2	1-5/8"	2-7/8"	U448	40-44	45-49	
S2F	1-5/8"	2-1/4"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S4	3-5/8"	4-7/8"	U465	40-44	45-49	
S4F	3-5/8"	4-1/4"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S6	6"	7-1/4"	U465	40-44	45-49	
S6F	6"	6-5/8"	U465	40-44	45-49	*FURRING; GWB ON ONE SIDE ONLY
S8	8"	9-1/4"	U465	40-44	45-49	

3 STEEL STUD WALL TYPE WITH WATER PROOF FINISH
1 1/2" = 1'-0"

WALL TYPE HATCH LEGEND

	2x4 WOOD STUD @ 16" O.C.; 7/16" OSB ONE SIDE; 5/8" TYPE X GWB INTERIOR BOTH SIDES
	2x4 WOOD STUD @ 16" O.C.; 5/8" TYPE X GWB EA. SIDE
	2x4 WOOD STUD @ 16" O.C. TO THE DECK ABOVE; 1/2" SOUND BOARD ONE SIDE, 5/8" TYPE X GWB EA. SIDE
	2X6 WOOD STUD @ 16" O.C.; 5/8" TYPE X GWB EA. SIDE
	2X6 WOOD STUD; 7/16" OSB; TYVEK; METAL SIDING; CELLULOSE W/GLUE BINDER INSULATION; 6 MIL POLY; 5/8" TYPE X GWB INTERIOR
	2X6 WOOD STUD; 7/16" OSB; TYVEK; BRICK; 6 MIL POLY; 5/8" TYPE X GWB INTERIOR
	2X6 EXISTING WALLS - THICKNESS VARIES
	2X6 EXISTING WALLS W/BRICK - THICKNESS VARIES
	2X6 EXISTING WALLS W/BRICK - THICKNESS VARIES
	8" FOUNDATION WALL
	12" FOUNDATION WALL - BRICK LEGGE
	STOREFRONT ALUMINUM GLASS WALL ST#####-AL *SEE A6.01 FOR CONFIGURATION & SIZING

WALL TYPE NOMENCLATURE



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DATE Issue Date

NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

RCWD - PLATTE TREATMENT
PLANT BUILDING 3
28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOBSITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

WALL TYPES
SCALE: As indicated

A3.50B

NO.	DESCRIPTION	DATE

**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**

28240 362nd AVE. PLATTE, SD 57369

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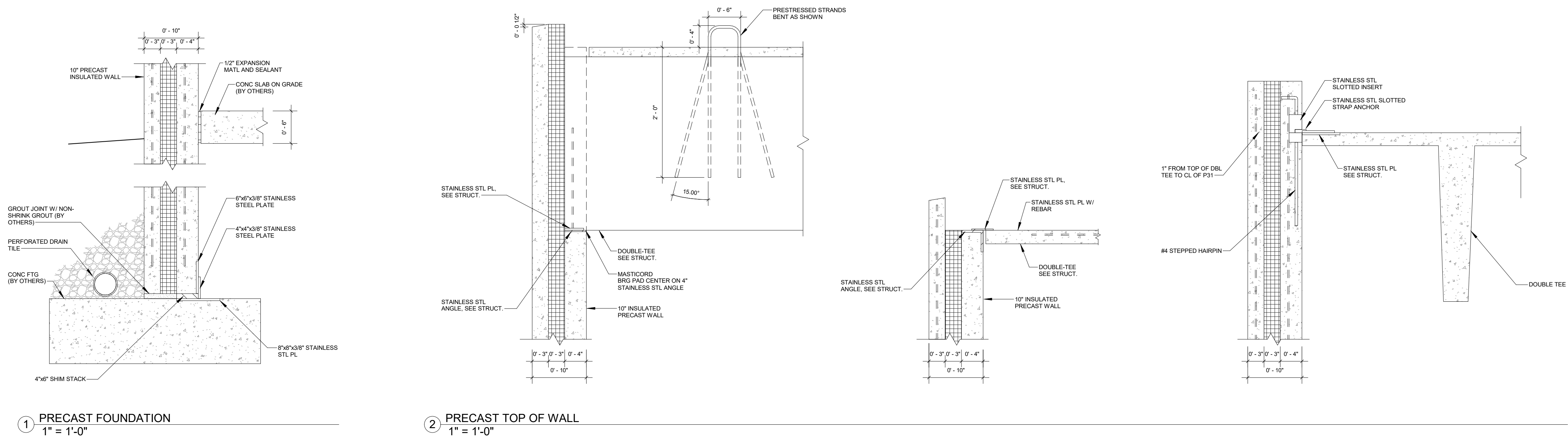
ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

**ARCHITECTURAL
DETAILS**

SCALE: 1" = 1'-0"

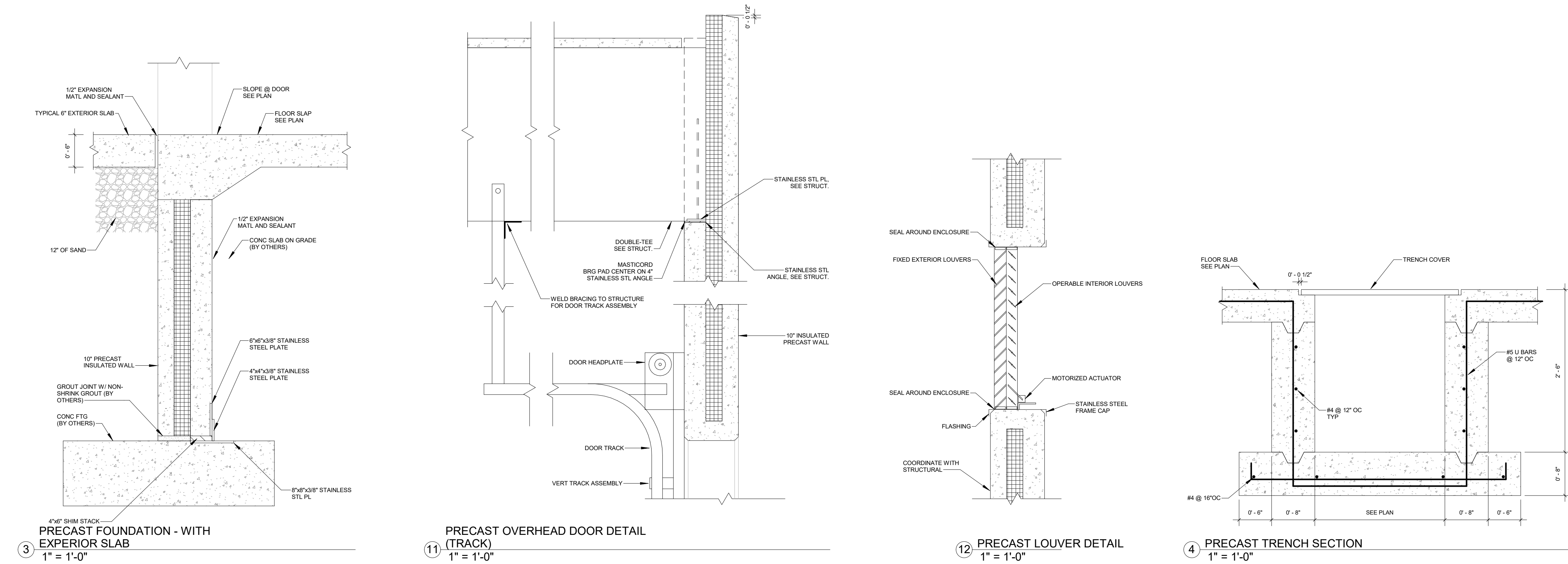
A5.01

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1 PRECAST FOUNDATION
1" = 1'-0"

2 PRECAST TOP OF WALL
1" = 1'-0"

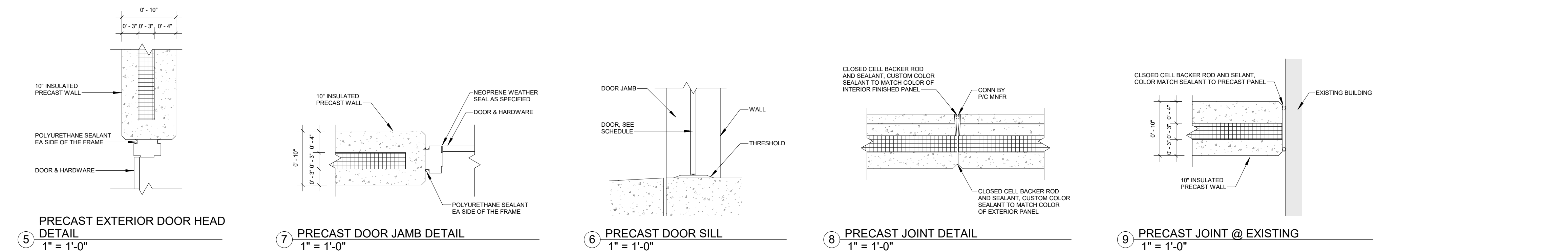


3 PRECAST FOUNDATION - WITH
EXTERIOR SLAB
1" = 1'-0"

11 PRECAST OVERHEAD DOOR DETAIL
(TRACK)
1" = 1'-0"

12 PRECAST LOUVER DETAIL
1" = 1'-0"

4 PRECAST TRENCH SECTION
1" = 1'-0"



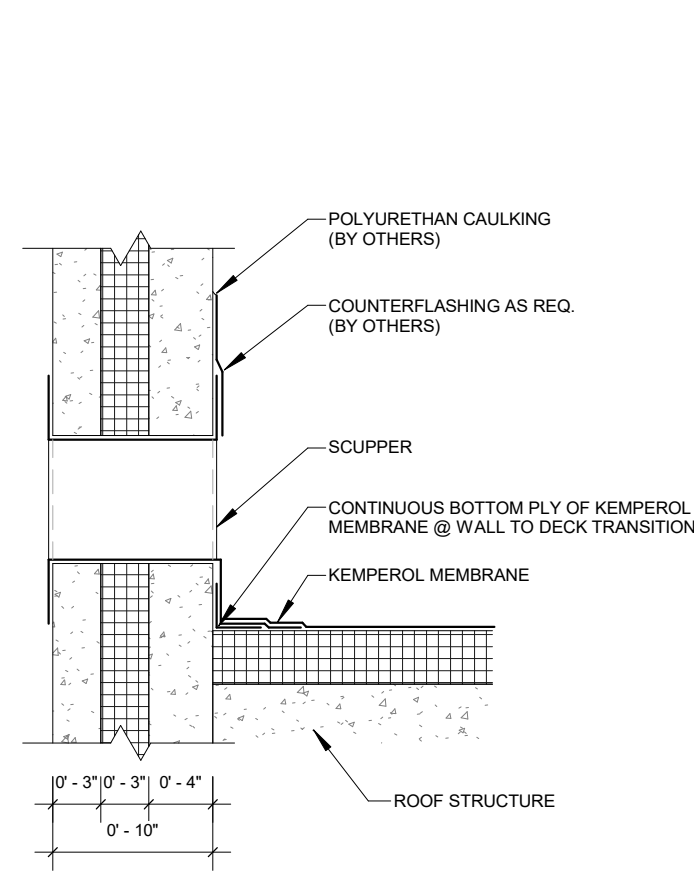
5 PRECAST EXTERIOR DOOR HEAD
DETAIL
1" = 1'-0"

7 PRECAST DOOR JAMB DETAIL
1" = 1'-0"

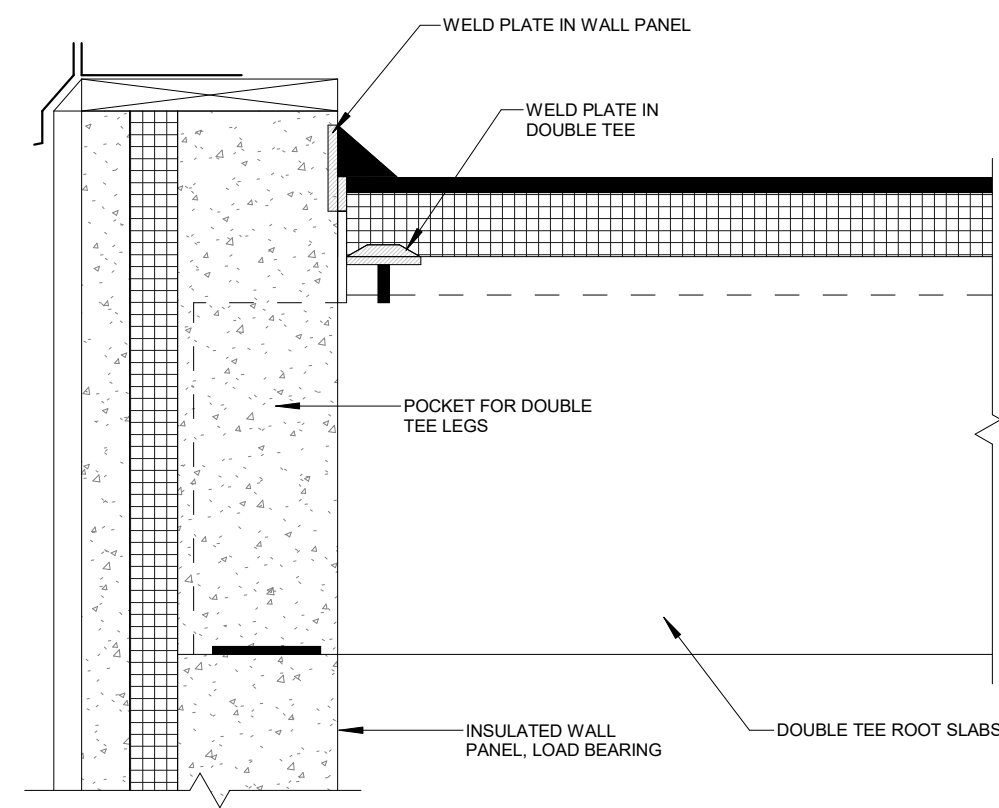
6 PRECAST DOOR SILL
1" = 1'-0"

8 PRECAST JOINT DETAIL
1" = 1'-0"

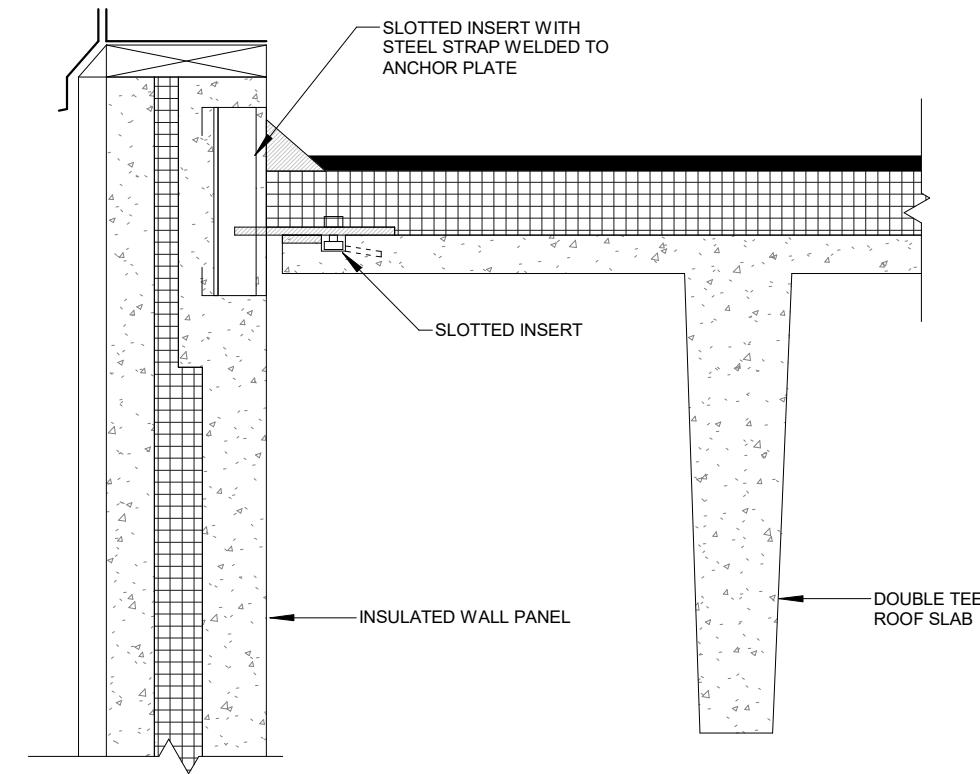
9 PRECAST JOINT @ EXISTING
1" = 1'-0"



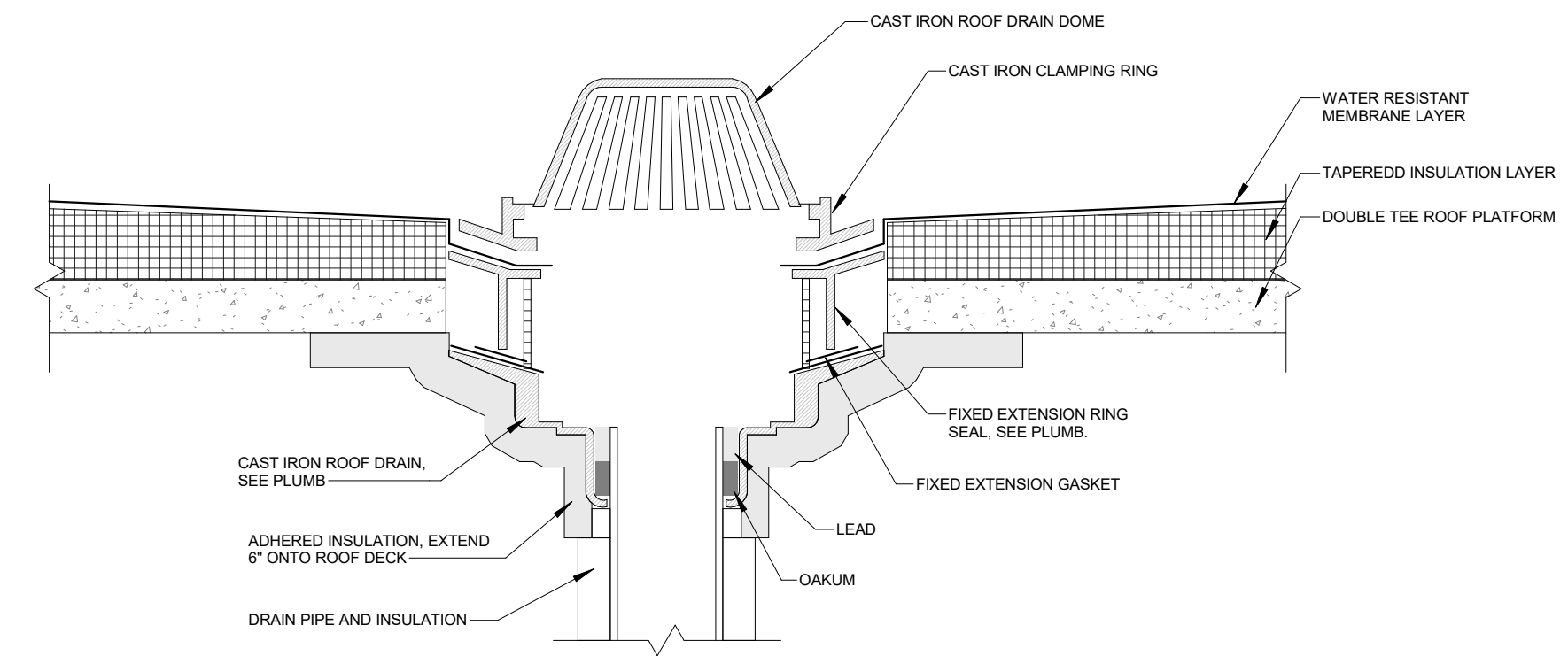
1 PRECAST WALL SCUPPER DETAIL
1" = 1'-0"



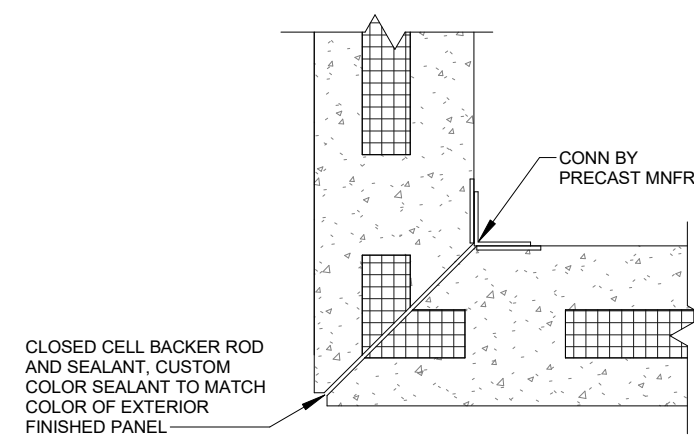
2 PRECAST TOP OF WALL - LOAD BEARING
1" = 1'-0"



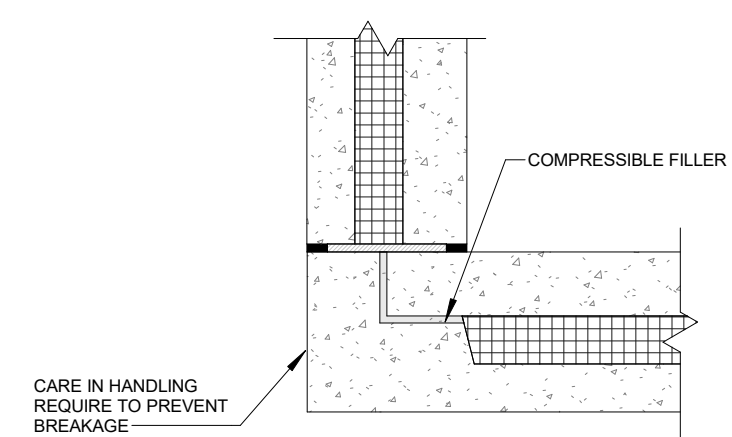
3 PRECAST TOP OF WALL - NON-LOAD BEARING
1" = 1'-0"



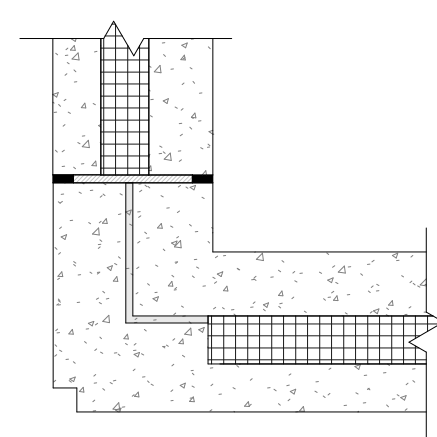
8 PRECAST ROOF DRAIN AT PARAPET WALL
1" = 1'-0"



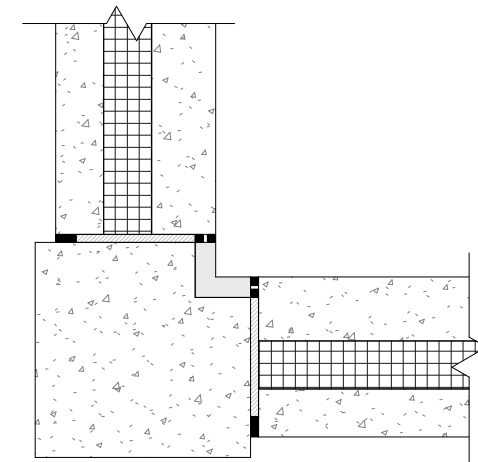
4 PRECAST CORNER DETAIL A
1" = 1'-0"



5 PRECAST CORNER DETAIL B
1" = 1'-0"



6 PRECAST CORNER DETAIL C
1" = 1'-0"



7 PRECAST CORNER DETAIL D
1" = 1'-0"



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**RCWD - PLATTE TREATMENT
PLANT BUILDING 3**

28240 362nd AVE. PLATTE, SD 57369

ALL DIMENSIONS & SIZE DESIGNATIONS ARE SUBJECT TO VERIFICATION ON THE JOBSITE AND ADJUSTMENTS TO FIT JOB CONDITIONS AS DEEMED NECESSARY.

ARCHITECT	Checker
DRAWN BY	Author
JOB NUMBER	2413

**ARCHITECTURAL
DETAILS**

SCALE: 1" = 1'-0"

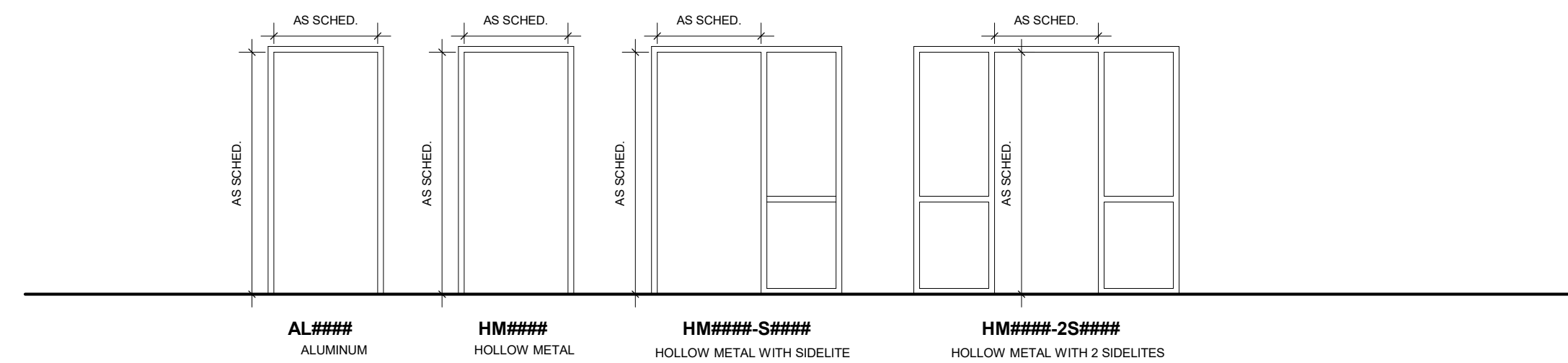
A5.02

8/22/2024 1:41:14 PM

DOOR SCHEDULE											
MARK NO.	DOOR TYPE	LEVEL	DOOR SIZE			OPERATION	FINISH	FRAME		FIRE RATING	MANUFACTURER
			WIDTH	HEIGHT	THICKNESS			FRAME TYPE	FRAME MATERIAL		
13	51	L1	3' - 0"	7' - 0"	0' - 1 3/4"						
14	52	L1	6' - 0"	7' - 0"	0' - 1 3/4"						
15	56	L1	8' - 0"	10' - 0"	0' - 0"						
16	54	L1	16' - 0"	16' - 0"	0' - 1 1/2"						
17	52	L1	6' - 0"	7' - 0"	0' - 1 3/4"						
18	55	L1	14' - 0"	14' - 0"	0' - 1 1/2"						
19	51	L1	3' - 0"	7' - 0"	0' - 1 3/4"						
20	55	L1	14' - 0"	14' - 0"	0' - 1 1/2"						
21	51	L1	3' - 0"	7' - 0"	0' - 1 3/4"						
22	52	L1	6' - 0"	7' - 0"	0' - 1 3/4"						
23	53	L1	8' - 0"	7' - 0"	0' - 1 1/2"						
24	55	L1	14' - 0"	14' - 0"	0' - 1 1/2"						
25	51	L1	3' - 0"	7' - 0"	0' - 1 3/4"						
27	52	L1	6' - 0"	7' - 0"	0' - 1 3/4"						
28	52	L1	6' - 0"	7' - 0"	0' - 1 3/4"						
29	51	L1	3' - 0"	7' - 0"	0' - 1 3/4"						



1 DOOR TYPES
1/4" = 1'-0"

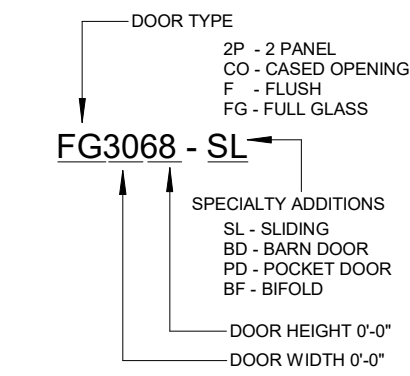


2 DOOR FRAMES
1/4" = 1'-0"

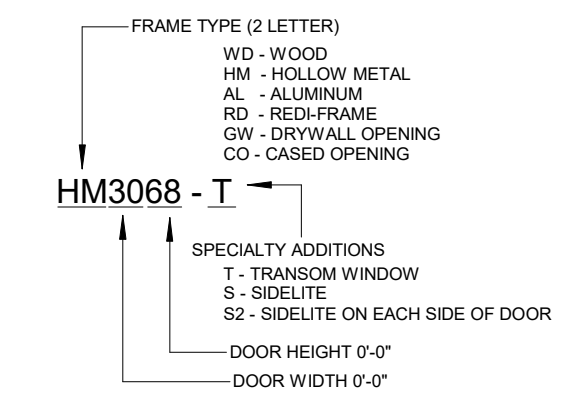
DOOR NOTES:

- HM DOORS & FRAMES TO BE PAINTED PER FINISH SCHED., TYP.

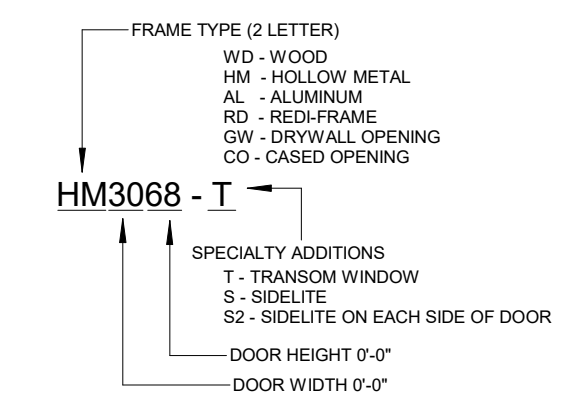
DOOR TYPE NOMENCLATURE:



DOOR FRAME NOMENCLATURE:



DOOR FRAME NOMENCLATURE:



WINDOW NOTES:

- WINDOW NOTES HERE



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ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

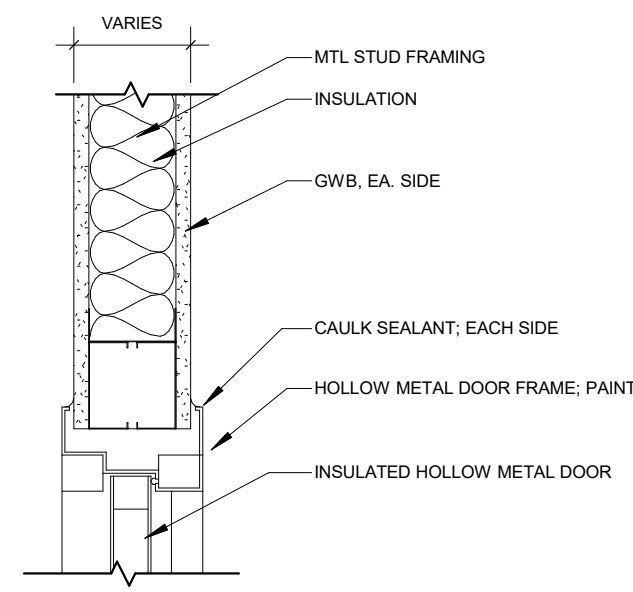
DOOR & WINDOW SCHEDULES & LEGENDS

SCALE: 1/4" = 1'-0"

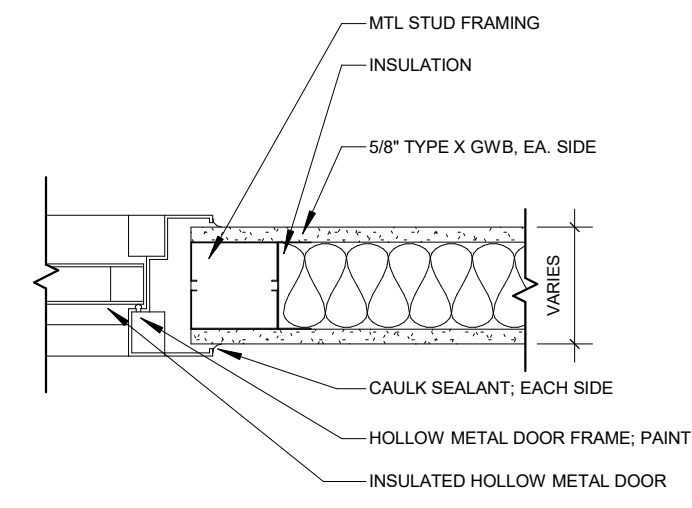
A6.01

DOOR @ MTL STUD; HM DOOR

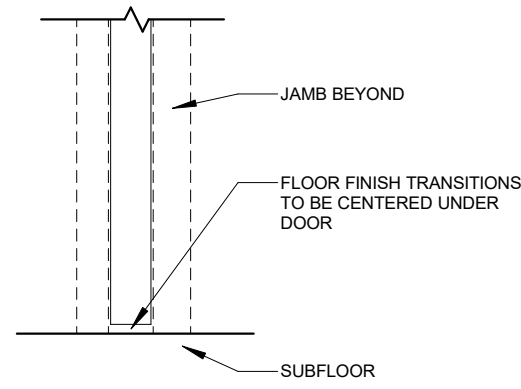
HEAD



JAMB



SILL

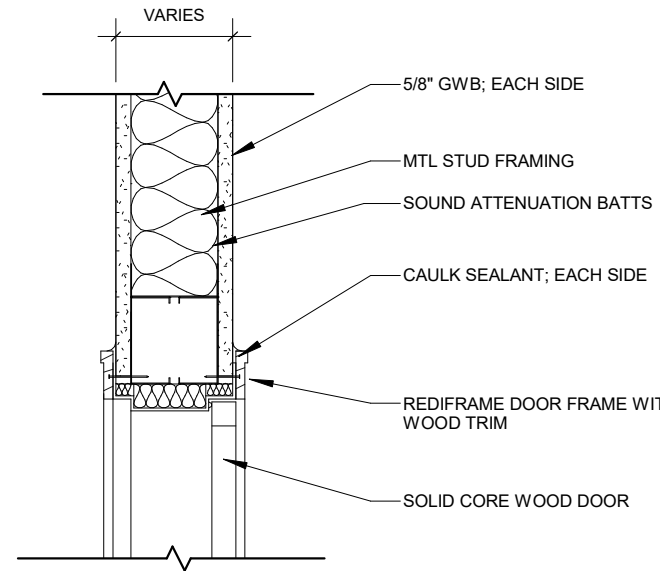


NOTES:

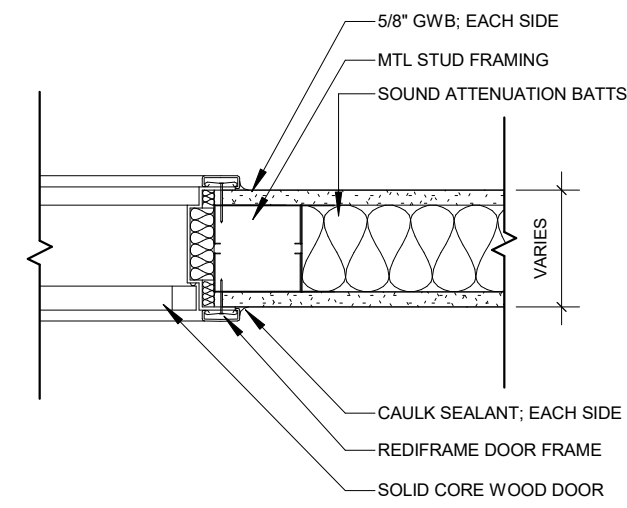
1. REFER TO WALL TYPES SHEET FOR INFORMATION ABOUT WALL THICKNESSES AT EACH DOOR LOCATION.
2. SHEATHING AND GWB THICKNESSES ARE SPECIFIED IN THE WALL TYPES SHEET.
3. REFER TO DOOR SCHEDULE AND ASSOCIATED SHEET NOTES FOR BALANCE OF DOOR INFORMATION.
4. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL CONDITIONS.

DOOR @ MTL STUD; 3-PC KNOCK-DOWN FRAME

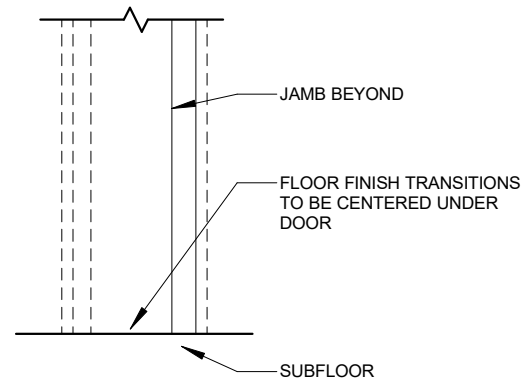
HEAD



JAMB



SILL



NOTES:

1. REFER TO PROJECT SPECIFICATIONS SHEET FOR INFORMATION REGARDING SIDING MATERIALS, COLOR, LAP SPACING, ETC.
2. REFER TO WALL TYPES SHEET FOR INFORMATION ABOUT WALL THICKNESSES AT EACH DOOR LOCATION.
3. SHEATHING AND GWB THICKNESSES ARE SPECIFIED IN THE WALL TYPES SHEET.
4. REFER TO DOOR SCHEDULE AND ASSOCIATED SHEET NOTES FOR BALANCE OF DOOR INFORMATION.
5. REFER TO STRUCTURAL FOR STRUCTURAL CONDITIONS.
6. WOOD TRIM TO BE USED IN LIEU OF REDI-FRAME TRIM.

① DOOR @ MTL STUD - HEAD - HM
1 1/2" = 1'-0"

② DOOR @ MTL STUD_REDI-FRAME
1 1/2" = 1'-0"



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ARCHITECT	ARB
DRAWN BY	RWP
JOB NUMBER	2413

**DOOR & WINDOW
DETAILS**

SCALE: 1 1/2" = 1'-0"

A6.20B